

PUTNAM COUNTY PLANNING COMMISSION

NO MEETING----DECEMBER, 2018

THE PUTNAM COUNTY PLANNING COMMISSION DID NOT MEET DURING DECEMBER, 2018.

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
NOVEMBER 13, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, November 13, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Jim Martin, Jere Mason, Ted McWilliams Dale Moss, and Phil Wilbourn. Vice-Chair Kay Detwiler and Ron Williamson were absent. Others present were Planning Director Kevin Rush, Engineer Patrick Rinks, Taylor Dillehay of Whittenburg Surveying, Brandon Griffin (Griffin and Davis PLLC), Nate Theiss, Alicia Theiss, and Jim Herrin of the Herald-Citizen.

ITEM 1: APPROVE THE NOVEMBER 13, 2018 AGENDA

The agenda was accepted by mutual consent. Before the meeting, one plat (Pen Hook Acres) was withdrawn by the developers.

ITEM 2: MINUTES OF THE OCTOBER 2, 2018 MEETING

Jim Martin moved to approve the October 2, 2018 Minutes after revisions. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Revised Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 7/10/18.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS:

A. COMBINATION OF LOTS 23 & 24 OF HUNTER HILLS SUBDIVISION, WHITTENBURG SURVEYING, COOKEVILLE, TN

Combined Lots 23 & 24 (084H-A-023.00 and 0884H-A-024.00) on Winchester Drive into one lot. Administratively approved 10-4-18.

B. ALLEN HOLLOW DIVISION FINAL PLAT, CLINTON SURVEYING, COOKEVILLE, TN

Created one lot from 027-026.01 on Allen Hollow Road. Administratively approved 10-5-18.

C. REDIVISION OF BOBBY LOU HODGES DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

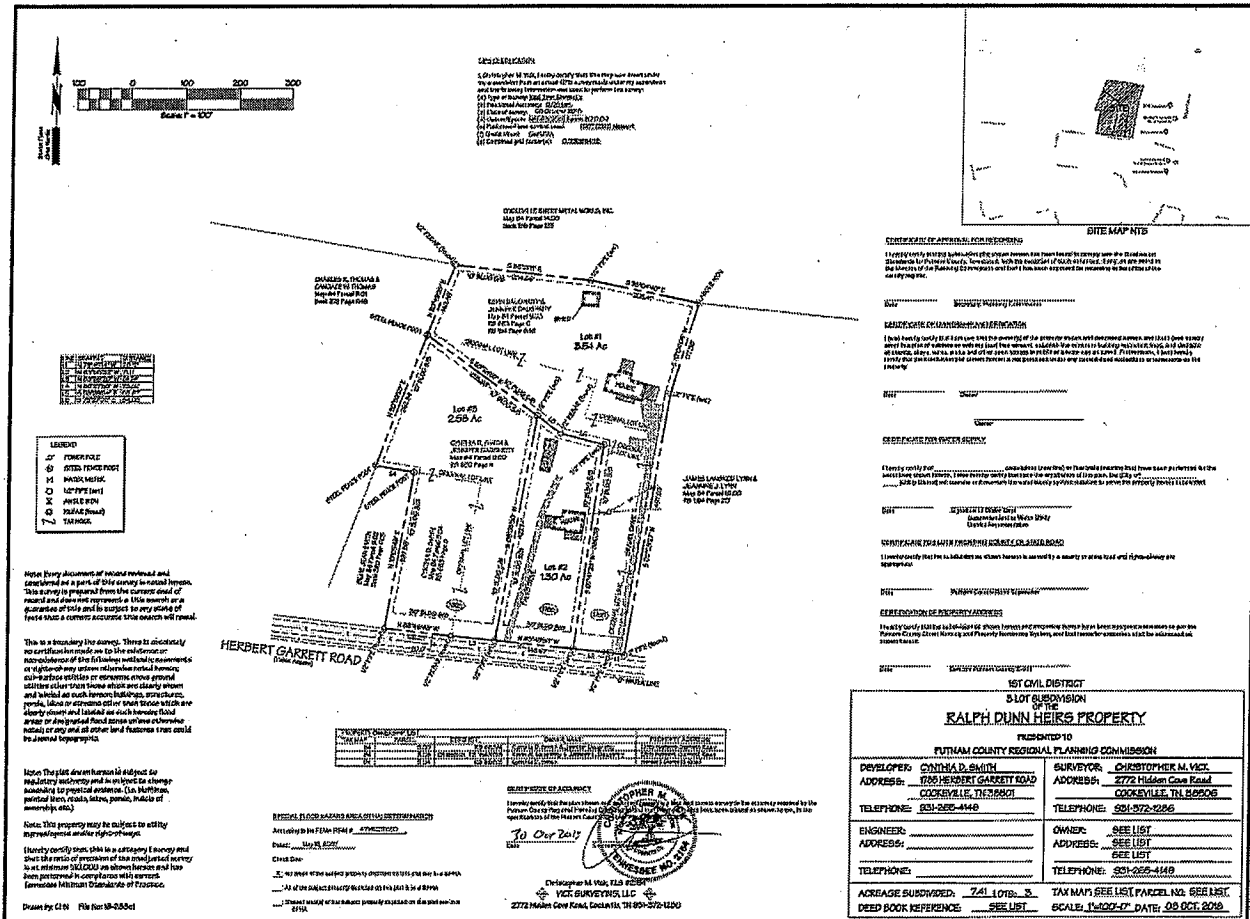
Line adjustment between 111-008.05 and 111-008.02. Administratively approved 10-23-18.

ITEM 7: SUBDIVISION PLATS

A. RALPH DUNN HEIRS PROPERTY PLAT, VICK SURVEYING, COOKEVILLE, TN

The purpose of this plat is to realign the lines between three lots on Herbert Garrett Road. Lot 3 owned by Cynthia (Smith) Rush will be enlarged to 2.58 acres. Lot 2, owned by Cynthia (Smith) Rush and Jennifer Daugherty will be decreased to 1.30 acres. Lot 1 owned by Kevin and Jennifer Daugherty will be increased to 3.54 acres. This is on the agenda because it is not eligible for administrative approval due to the Planning Director having a direct conflict of interest as it is his family property.

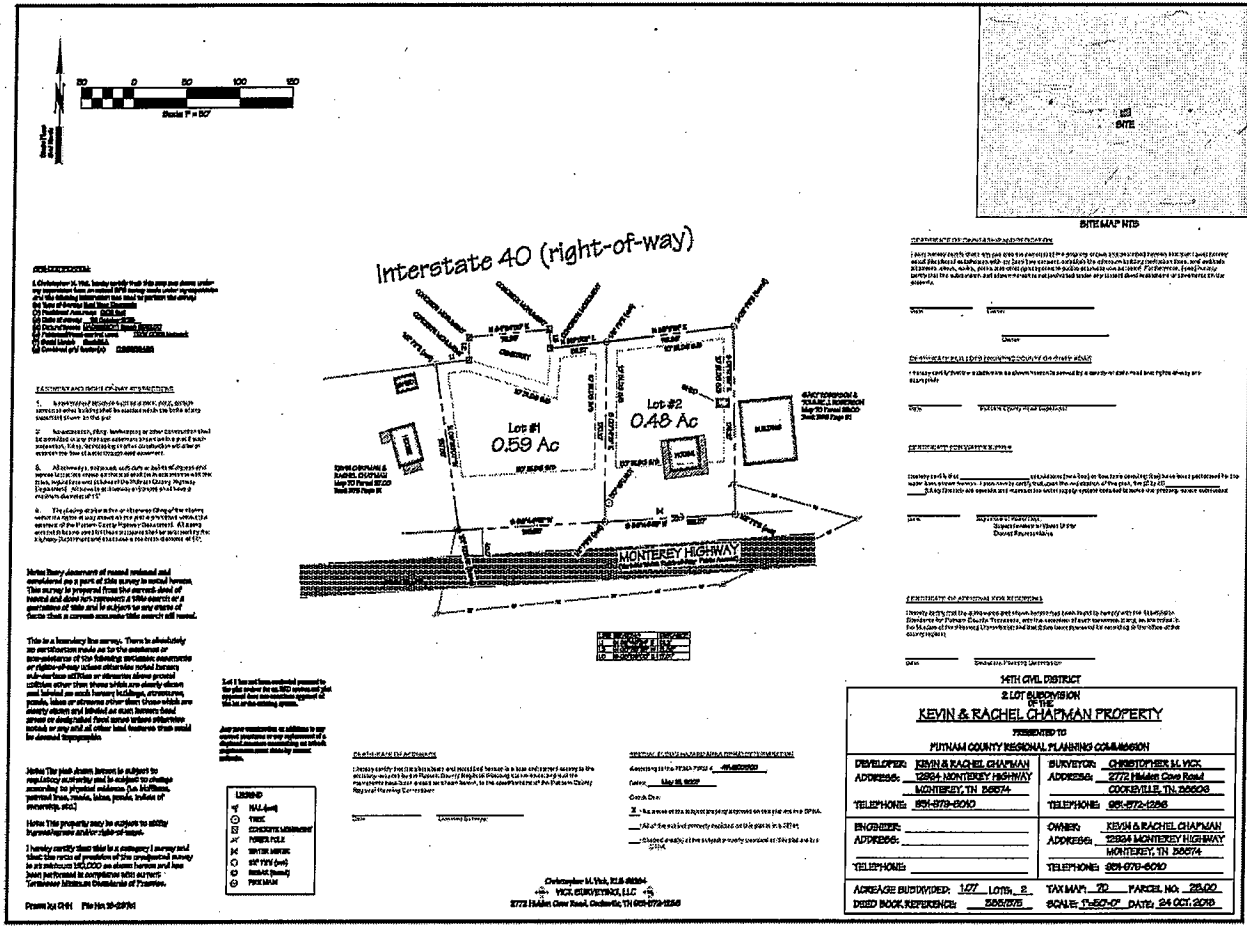
Jim Martin moved to approve the plat subject to signatures. Motion was seconded and approved unanimously with Chairman Wright abstaining.



**B. KEVIN AND RACHEL CHAPMAN PROPERTY FINAL PLAT, VICK SURVEYING,
COOKEVILLE, TN**

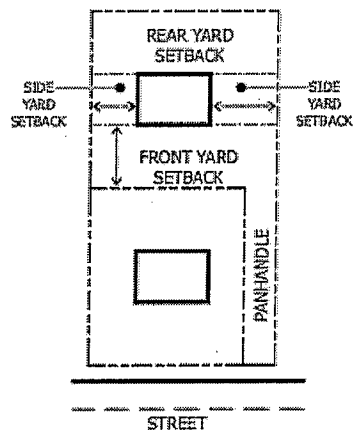
The purpose of this plat is to divide a 1.07-acre tract on Monterey Highway, owned by Kevin and Rachel Chapman into two lots. Monterey Highway is an arterial street. The required right-of-way is 40 feet off center and the setback is 50 feet. The house on Lot 2 does not comply with the setback. The county wants to build a fire station on Lot 1. Discussion centered on the cemetery and providing access to it as required by state law. The planning commission discussed requiring an easement be shown on the plat. Staff recommended the following plat note be added: "Access to the cemetery shown on this plat shall be governed by Tennessee Code Annotated Title 46 and related case law." Ultimately, it was agreed that as the county would be the owner of the lot with the cemetery, a platted easement was unnecessary and the plat note would suffice.

Phil Wilbourn moved to approve the plat with a variance on the house violating the setback and subject to a plat note stating, "Access to the cemetery shown on this plat shall be governed by Tennessee Code Annotated Title 46 and related case law." Motion was seconded and approved unanimously with Chairman Wright abstaining. County Attorney Jeff Jones will be consulted on best way to address cemetery access.



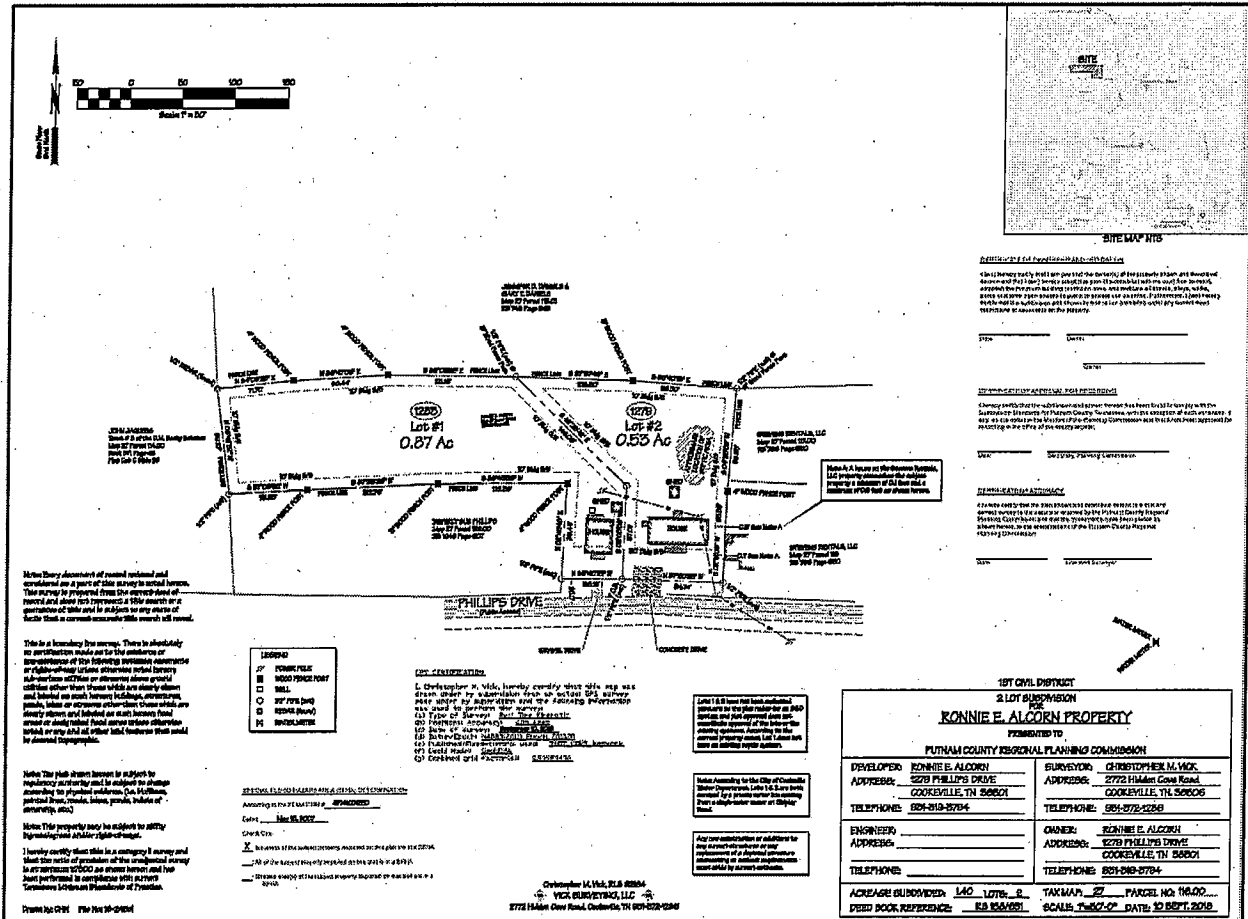
C. RONNIE ALCORN PROPERTY FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

The purpose of this plat is to divide a 1.40-acre tract (027-116.00) on Phillips Drive, owned by Ronnie Alcorn into two lots. The house on Lot 1 does not comply with the setback. Lot 2 is 0.53 acres and has 94 feet of road frontage. Lot 1 is really a flag lot with an extra wide pole (56 feet wide). There is a house built on this lot in the pole portion and it violates the front setback. The front setback for this flag lot should not start near the road, instead it should be located in the flag portion of the lot with all of the pole being considered part of the front as setback as shown on the following illustration:



The illustration labels the pole as a panhandle. With the corrected setback, if the house is ever destroyed, in order to build back, location of the house would have to move to the flag portion of the lot.

Jim Martin moved to approve the plat with variances on the setback violations, subject to the correction of the setback as shown on the illustration. Motion was seconded and approved unanimously with Chairman Wright abstaining.



D. WILLIAMS AND WILHOIT DIVISION FINAL PLAT, WHITTENBURG SURVEYING,
COOKEVILLE, TN

The purpose of this plat is to move the lot lines between two lots (027-032.00 and 027-033.00) on Hilham Highway. The house on Lot 2 does not comply with the setbacks. The front of the house encroaches on the front setback by about 2 feet and the side of the house encroaches within a couple feet of the property line. However, the line change is to the rear of the lot and change will not increase any conformity from the existing lines. All structures will comply with the setbacks on the new property line. Patrick Rinks recommended that the tiles under the driveways be shown. Planning Director Rush stated the setback note needed to be added to the plat.

Jere Mason moved to approve the plat subject to the addition of the tiles, addition of the setback note, and all required signatures. Motion was seconded and approved unanimously with Chairman Wright abstaining.

[illegible]

ITEM 8: OTHER BUSINESS

- Staff Report from Patrick Rinks----None.
- Staff Report from Kevin Rush----Staff stated that he would like the planning commission to re-adopt the bylaws at the next meeting and will put it on the agenda. Also Staff provided update on Ava Place regarding TDOT approval of shared driveway.
- Other matters if necessary----At the next meeting the Planning Commission will consider an amendment to Section 8 of the bylaws to reflect the current order of the agenda.

ITEM 9: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent.

Chairman

Secretary

Date _____

Date _____

MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
OCTOBER 2, 2018

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, October 2, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Vice-Chair Kay Detwiler, Secretary Mike Atwood, Jim Martin, Jere Mason, Dale Moss, Phil Wilbourn, and Ron Williamson. Ted McWilliams was absent. Also present were Planning Director Kevin Rush, Chris Mabery of Whittenburg Surveying, and Ben Wheeler.

ITEM 1: APPROVE THE OCTOBER 2, 2018 AGENDA.

The agenda was accepted by mutual consent.

ITEM 2: MINUTES OF THE SEPTEMBER 4, 2018 MEETING.

Jim Martin moved to approve the September 4, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Revised Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 7/10/18.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS: NONE

ITEM 7: SUBDIVISION PLATS

A. CLINTON HARRIS DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

The purpose of this plat is to adjust the parcel line between Parcels 014.00 & 014.01, both on Map 089. A portion of Parcel 14 will be added to 14.01 for a total area of 2.27 acres \pm . The remaining area of Parcel 14 is greater than 5 acres. This addition to Parcel 14.01 will create a better parcel for the existing cabin. The property is served by a spring, and there is no public water along Happy Hollow Road at this property. There is a front setback violation, and the setback note is shown on the plat.

Patrick Rinks, PC engineer emailed the following comment: "Kevin and I visited two of the three sites last Thursday. We were unable to get to the Clinton Harris Division. Clinton Harris Division has a setback violation and there is no public water, but the lot already exists. It appears to be a lot line adjustment. Recommend approval with variance for setback violation."

Mike Atwood moved to approve the plat with variances as presented, subject to all signatures. Motion was seconded and approved unanimously with Chairman Wright abstaining.

B. HAROLD CLEMONS DIVISION PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This plat is to create one lot on Water Plant Road from Map 113, Parcel 013.00. The lot will be 20,000 sq. ft. in size and has a mobile home and a shed on it. The mobile home violates the front setback and the shed violates the side setback. The required setback note is on the plat. They have dedicated 25 foot off center of right-of-way on Water Plant Road.

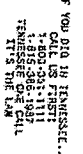
Patrick Rinks' comment on this division, "Harold Clemons Division Plat has two setback violations or Kevin could have approved administratively. Recommend developer consider 50' between new lot and Mine Lick Creek Road if they think will ever develop remainder of property. Property does fall off in back and future development may not be an option. Otherwise, I recommend approval with variance for setback violations."

Jim Martin moved to approve the plat with variances as presented, subject to all signatures. Motion was seconded and approved unanimously with Chairman Wright abstaining.

DATE	_____	DATE RECEIVED	_____
NAME	_____	NAME	_____
ADDRESS	_____	ADDRESS	_____
CITY	_____	CITY	_____
STATE	_____	STATE	_____

REINSTATEMENT OF POLICE LEO AS SHERIFF
OF BUTTE COUNTY TAD: 15 APR 88

RECEIVED A NOTIFICATION OF THE SAME PROPERTY
CONTROLLED BY JAMES C. DAVIS AND KENNETH COO-
CE BROWN, WITH A LIFE ESTATE RESERVED FOR
RECEIVED BY PHONE BY VASSARITY DEED OF
RECORD BY RECORDED BOOK 34A, PAGE 76A
E.O.P.C. TX

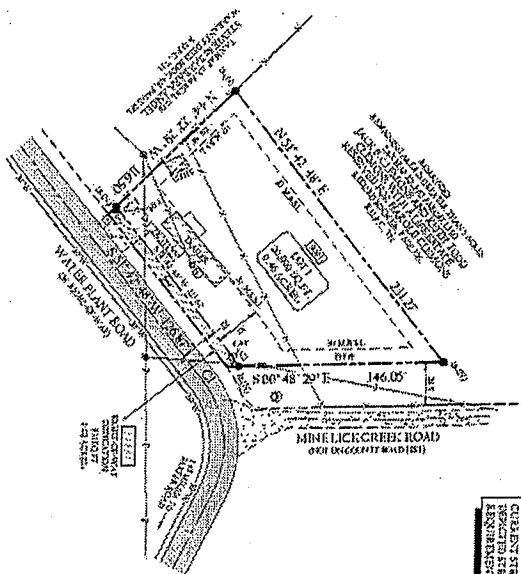
[illegible][illegible]

MEMBER STATE THAT THE SIGNING ABOVE INDICATES THAT THE COMRADE HAS AGREED TO BE BOUND BY THE DECISIONS OF THE NATIONAL COMRADE LEADERSHIP AND TO CONSIDERATION OF THE NATIONAL COMRADE LEADERSHIP TO THE EXTENT OF THE COMRADE'S OBLIGATION TO THE COMRADE LEADERSHIP.

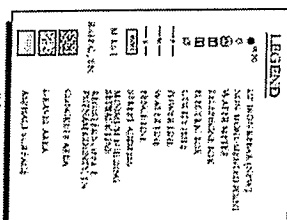
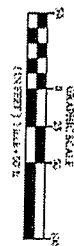
INTERESTING THAT THE ALLEGEDLY "CIVILIZED" INDIANS OF THE NORTHWESTERN STATES, WHOSE CIVILIZATION WAS NOT THE SAME AS THAT OF THE SOUTHERN STATES, WERE NOT THE FIRST TO BE CONVICTED OF SUCH VIOLENCE. IF ANY OF THE WHITE PEOPLE OF THE NORTHWESTERN STATES AND THE INDIAN STATES WERE INTERESTED IN THE PROGRESS OF THE CIVILIZATION

CURE TABLE					
CURE	MODE	ACCELERITY	CREDIBILITY	CHOICE/DATE	NOTES/DATE
Q	MOV	117	117	5/27/00	2008
Q	MOV	817	817	5/27/00	4/25/01

AND NEW CONSTRUCTION OR ADDITIONS TO AN
EXISTING STRUCTURE OF ANY RESIDENTIAL OR A
DETACHED STRUCTURE INCORPORATING AN STEEL OR
ALUMINUM FRAMING SYSTEM.



TOTAL AREA = 20,000 SQUARE FEET OR 0.46 ACRES:

[illegible]

JACK CLEMONS
1605 EASTER ROAD
FAIRFAX, TN 38564
314-641-3264

CHALSTON, JAMES
WHITENBURG LAND SURVEYING
24 EAST STEVENS STREET
COOKVILLE, TN 38506
581-221-1400

C. AVA PLACE DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

The purpose of this plat is to divide a 2.54-acre tract on Burgess Falls Road at Rice Road, owned by Hooper and Ruby Maxwell into four lots. As Burgess Falls Road is a state route, TDOT will have to approve the driveway locations for Lots 1 and 2. Lot 4 fronts off Rice Road. Lot 3 will be restricted to a driveway on Rice Road. The subdivision will require the installation of a fire hydrant, as there is a 6-inch water main on Burgess Falls Road. They show a dedication of right-of-way on Rice Road to make it 25-foot off center.

Patrick Rinks' comment on this division, "Ava Place Division Final Plat has some sight distance issues for driveways on Lots 1 and 2. No good option for Lot 1. Driveway could be installed on Lot 2 at high point in road. TDOT will have to issue permits for the two driveways. Lots 3 and 4 can be accessed from Rice Road. Proposed fire hydrant is shown on plat. This will require Water Pressure Certification signed by an Engineer. Unless TDOT grants two permits, recommend consider reconfiguring lots to avoid sight distance issues on Burgess Falls Road."

Jim Martin moved to approve the plat as presented, subject to TDOT approval of the driveways for lots fronting on Burgess Falls Road, soil approval by TDEC, all other signatures, and installation of the hydrant. Motion was seconded. The vote was 4 yea, 3 nay, and 1 abstention. At the meeting, it was deemed to have failed due to a lack of 5 positive votes required for approval. This was incorrect and the item was conditionally approved. The following memo was sent to all members of the PC and the developer:

Memorandum

To: Putnam County Planning Commission Members
 From: Kevin Rush
 Date: 10/8/2018
 Subject: Ava Place Subdivision

I wanted to update you regarding the action taken on Ava Place Subdivision at the October 2, 2018 meeting. Just to refresh your memory on the subdivision, here is the description from the agenda:

C: AVA PLACE DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN
 The purpose of this plat is to divide a 2.54-acre tract on Burgess Falls Road at Rice Road, owned by Hooper and Ruby Maxwell into four lots. As Burgess Falls Road is a state route, TDOT will have to approve the driveway locations for Lots 1 and 2. Lot 4 fronts off Rice Road. Lot 3 will be restricted to a driveway on Rice Road. The subdivision will require the installation of a fire hydrant, as there is a 6-inch water main on Burgess Falls Road. They show a dedication of right-of-way on Rice Road to make it 25-foot off center.

Here is an image of the plat:

[illegible]

These were Patrick's comments on the proposed subdivision, "Ava Place Division Final Plat has some sight distance issues for driveways on Lots 1 and 2. No good option for Lot 1. Driveway could be installed on Lot 2 at high point in road. TDOT will have to issue permits for the two driveways. Lots 3 and 4 can be accessed from Rice Road. Proposed fire hydrant is shown on plat. This will require Water Pressure Certification signed by an Engineer. Unless TDOT grants two permits, recommend consider reconfiguring lots to avoid sight distance issues on Burgess Falls Road." I also recommended conditional approval subject to Lots 1 and 2 getting separate driveways approved by TDOT. I stated that I was not sure TDOT would approve separate driveways due to limited sight distance. At the meeting, Jim Martin moved to approve the plat subject to installation of the hydrant, TDEC approval of the soils, TDOT approval of the driveways for Lots 1 & 2, and signatures. The motion was seconded with a vote of four (4) aye, three (3) nay, one (1) abstain, one (1) absent. It was stated at the meeting that the motion failed for lack of enough votes to pass. It was stated that it takes five (5) votes to pass.

This was incorrect. The motion was approved according to our Bylaws. I went back and looked at the Bylaws. The planning commission approved the following amendment March 3, 2015 as shown here (Item 3) from the Minutes of that meeting:

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
MARCH 3, 2015**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, March 3, 2015 in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Kay Detwiler, John Donnelly, Ronnie Lafever, Jim Martin, Jere Mason, Dale Moss, and Phil Wilbourn. No members were absent. Mike Atwood left at 6:25 (before the meeting was adjourned) as he had a conflicting meeting. Planning Director Kevin Rush and County Engineer Patrick Rinks were present as well as Andy and Traci Lane, Chris Vick, and Brittany Stovall. The Planning Commission welcomed Ronnie Lafever back to the Planning Commission. Ronnie was a member several years ago and was appointed to replace Leslie Sullins who resigned in December 2014.

ITEM 1: APPROVE THE MARCH 3, 2015 AGENDA.

Planning Director Rush stated that there was one additional administratively approved plat that was approved after the agenda had been mailed, the Combination Plat for Lots 4 and 5 Southern Hills Village. The agenda was accepted by mutual consent of the Planning Commission.

ITEM 2: APPROVE THE MINUTES FOR FEBRUARY 3, 2015 MEETING.

Dale Moss made a motion to approve the Minutes of the February 3, 2015 meeting as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: BYLAWS AMENDMENT: SECTION 5. QUORUM currently reads as follows: At any meeting of the Planning Commission, a quorum shall consist of five (5) members. No action shall be taken in the absence of a quorum, except to adjourn the meeting to a subsequent date. It takes a majority of the members present and a minimum of four (4) members to approve any action.

Discussion centered on members being absent or abstaining, and how many members should be required to approve any item. Mike Atwood stated that the only reason for a member to abstain would be due to a conflict of interest, and absent that, all members should vote on every item. Chairman Wright stated that in Robert's Rule of Order, the chair should abstain except to break a tie vote, to ensure impartiality. John Donnelly made a motion to insert "and voting" to this section of the by-laws so the last sentence will read "It takes a majority of the members present and voting and a minimum of four (4) members to approve any action." The motion was seconded and approved unanimously with Chairman Wright voting.

Looking at the vote (4 aye, 3 nay, 1 not voting) the motion was approved and therefore the plat was conditionally approved. Four (4) votes is a majority of seven (7) voting members. Had the chair voted nay, then the motion would not have been approved, as the vote would have been four (4) aye and four (4) nay, with neither getting a majority.

At least five (5) members of the planning commission must approve any amendment to the Bylaws. I think this led to the confusion at the meeting.

I have attached a pdf of the signed Minutes of the March 3, 2015 meeting where the amendment was approved as well as a signed copy of the Bylaws from 2007. I could not quickly find the signed copy with the 2015 amendment and wanted to get this memo out to correct the record as quickly as possible.

Kevin Rush
Highlands Planning Director

[illegible]

INFORMATIONAL TECHNOLOGY
DEPARTMENT OF COMMERCE
FEDERAL BUREAU OF INVESTIGATION

THESE ARE THE ONLY TWO CITIES IN THE WORLD WHERE THE
POPULATION IS INCREASING AT THE RATE OF 10 PER CENT
PER YEAR.

THE ABOVE INFORMATION WAS OBTAINED FROM THE RECORDS OF THE NEW YORK STATE DEPARTMENT OF CORRECTIONS, ALBANY, NEW YORK, AND IS BEING FURNISHED TO YOU FOR YOUR INFORMATION.

CERTIFICATE OF OWNERSHIP AND EDUCATION
I, OWEN LEE HART of THE UNIVERSITY OF MICHIGAN
LIBRARY AND DOCUMENT SERVICES do hereby certify that the
above information was obtained from THE UNIVERSITY OF MICHIGAN
LIBRARY AND DOCUMENT SERVICES and is true and correct to the
best of my knowledge and belief. I am a LIBRARIAN
in the LIBRARY AND DOCUMENT SERVICES department of the
above named institution. I am a citizen of the UNITED STATES OF AMERICA
and I am a resident of ANN ARBOR, MICHIGAN. I am a member of
the LIBRARY AND DOCUMENT SERVICES department of the
above named institution. I am a member of the LIBRARY AND DOCUMENT SERVICES
department of the above named institution. I am a member of the
LIBRARY AND DOCUMENT SERVICES department of the above named institution.

RECEIVED BY THE DIRECTOR, FBI, 11/11/68

Address of respondent:

GENERAL NOTES

1. THE SUBJECT'S NAME WAS TO BE GIVEN IN THE BIRTH CERTIFICATE, LETTERS TO THE PARENTS, AND IN THE RECORDS OF THE CHURCH.
2. THE SUBJECT WAS TO BE PREPARED FROM THE CHURCH RECORD OF BAPTISM AND MUST NOT BE BAPTIZED A THIRD TIME FOR ANY REASON. THE BAPTISM WAS TO BE DONE IN THE CHURCH OR IN A PLACE WHERE A CHURCH MINISTER BELONGED, WITH A WITNESS.
3. THIS WAS TO BE AN OPEN BAPTISM, WITHOUT ANY APOSTRY AND WITHOUT ANY RITUALISTIC OR MAGICAL INCANTATIONS, WORDS, OR ACTIONS, AND WITHOUT ANY OTHER RITUALS.
4. THE SUBJECT WAS NOT TO BE BAPTIZED IN THE BAPTIST CHURCH, OR IN ANY OTHER CHURCH, NOR IN THE HOME OF THE PARENTS OR IN ANY OTHER LOCATION WITHIN THE JURISDICTION OF THE HOME STATE BAPTIST CHURCH.
5. THE SUBJECT WAS NOT TO BE COMPAUNDED WITH CHILDREN OF THE SAME RACE OR ETHNICITY AS HIS OR HER PARENTS.
6. LOCATIONS OF THE PARENTS ARE ASSUMED TO BE CORRECT. THE BAPTIST CHURCH WILL NOT BE RESPONSIBLE FOR MISTAKEN LOCATIONS OF PARENTS.
7. ACCORDING TO RULE, FORTY-THREE, THE NAME OF THE RECORD DATED AFTER THE BAPTISM OF THE SUBJECT WILL BE THE NAME OF THE CHURCH, AND NOT THE NAME OF THE PARENTS OR THE SUBJECT.

CONFIDENTIAL SECURITY

THESE RESULTS INDICATE THAT THE EFFECTS OF THE TREATMENT GROUPS ON THE
PERFORMANCE OF THE STUDENTS WERE NOT SIGNIFICANTLY DIFFERENT FROM
THE CONTROL GROUP. THE STUDENTS IN THE TREATMENT GROUPS DID NOT
PERFORM BETTER THAN THE STUDENTS IN THE CONTROL GROUP.

[illegible]

SECRET

[illegible]

OR STATE ROAD

1. The first step in the process of the development of the new system is the identification of the problem. This is done by the project manager and the team members. The next step is to define the scope of the project. This is done by the project manager and the team members. The third step is to develop a plan. This is done by the project manager and the team members. The fourth step is to implement the plan. This is done by the project manager and the team members. The fifth step is to evaluate the results. This is done by the project manager and the team members. The sixth step is to report the results. This is done by the project manager and the team members. The seventh step is to close the project. This is done by the project manager and the team members.

4-634

FOURTH OF JULY - 1964

1974-1975, 1976-1977, 1978-1979, 1980-1981, 1982-1983, 1984-1985, 1986-1987, 1988-1989, 1990-1991, 1992-1993, 1994-1995, 1996-1997, 1998-1999, 2000-2001, 2002-2003, 2004-2005, 2006-2007, 2008-2009, 2010-2011, 2012-2013, 2014-2015, 2016-2017, 2018-2019, 2020-2021, 2022-2023, 2024-2025, 2026-2027, 2028-2029, 2030-2031, 2032-2033, 2034-2035, 2036-2037, 2038-2039, 2040-2041, 2042-2043, 2044-2045, 2046-2047, 2048-2049, 2050-2051, 2052-2053, 2054-2055, 2056-2057, 2058-2059, 2060-2061, 2062-2063, 2064-2065, 2066-2067, 2068-2069, 2070-2071, 2072-2073, 2074-2075, 2076-2077, 2078-2079, 2080-2081, 2082-2083, 2084-2085, 2086-2087, 2088-2089, 2090-2091, 2092-2093, 2094-2095, 2096-2097, 2098-2099, 2100-2101, 2102-2103, 2104-2105, 2106-2107, 2108-2109, 2110-2111, 2112-2113, 2114-2115, 2116-2117, 2118-2119, 2120-2121, 2122-2123, 2124-2125, 2126-2127, 2128-2129, 2130-2131, 2132-2133, 2134-2135, 2136-2137, 2138-2139, 2140-2141, 2142-2143, 2144-2145, 2146-2147, 2148-2149, 2150-2151, 2152-2153, 2154-2155, 2156-2157, 2158-2159, 2160-2161, 2162-2163, 2164-2165, 2166-2167, 2168-2169, 2170-2171, 2172-2173, 2174-2175, 2176-2177, 2178-2179, 2180-2181, 2182-2183, 2184-2185, 2186-2187, 2188-2189, 2190-2191, 2192-2193, 2194-2195, 2196-2197, 2198-2199, 2200-2201, 2202-2203, 2204-2205, 2206-2207, 2208-2209, 2210-2211, 2212-2213, 2214-2215, 2216-2217, 2218-2219, 2220-2221, 2222-2223, 2224-2225, 2226-2227, 2228-2229, 2230-2231, 2232-2233, 2234-2235, 2236-2237, 2238-2239, 2240-2241, 2242-2243, 2244-2245, 2246-2247, 2248-2249, 2250-2251, 2252-2253, 2254-2255, 2256-2257, 2258-2259, 2260-2261, 2262-2263, 2264-2265, 2266-2267, 2268-2269, 2270-2271, 2272-2273, 2274-2275, 2276-2277, 2278-2279, 2280-2281, 2282-2283, 2284-2285, 2286-2287, 2288-2289, 2290-2291, 2292-2293, 2294-2295, 2296-2297, 2298-2299, 2300-2301, 2302-2303, 2304-2305, 2306-2307, 2308-2309, 2310-2311, 2312-2313, 2314-2315, 2316-2317, 2318-2319, 2320-2321, 2322-2323, 2324-2325, 2326-2327, 2328-2329, 2330-2331, 2332-2333, 2334-2335, 2336-2337, 2338-2339, 2340-2341, 2342-2343, 2344-2345, 2346-2347, 2348-2349, 2350-2351, 2352-2353, 2354-2355, 2356-2357, 2358-2359, 2360-2361, 2362-2363, 2364-2365, 2366-2367, 2368-2369, 2370-2371, 2372-2373, 2374-2375, 2376-2377, 2378-2379, 2380-2381, 2382-2383, 2384-2385, 2386-2387, 2388-2389, 2390-2391, 2392-2393, 2394-2395, 2396-2397, 2398-2399, 2400-2401, 2402-2403, 2404-2405, 2406-2407, 2408-2409, 2410-2411, 2412-2413, 2414-2415, 2416-2417, 2418-2419, 2420-2421, 2422-2423, 2424-2425, 2426-2427, 2428-2429, 2430-2431, 2432-2433, 2434-2435, 2436-2437, 2438-2439, 2440-2441, 2442-2443, 2444-2445, 2446-2447, 2448-2449, 2450-2451, 2452-2453, 2454-2455, 2456-2457, 2458-2459, 2460-2461, 2462-2463, 2464-2465, 2466-2467, 2468-2469, 2470-2471, 2472-2473, 2474-2475, 2476-2477, 2478-2479, 2480-2481, 2482-2483, 2484-2485, 2486-2487, 2488-2489, 2490-2491, 2492-2493, 2494-2495, 2496-2497, 2498-2499, 2500-2501, 2502-2503, 2504-2505, 2506-2507, 2508-2509, 2510-2511, 2512-2513, 2514-2515, 2516-2517, 2518-2519, 2520-2521, 2522-2523, 2524-2525, 2526-2527, 2528-2529, 2530-2531, 2532-2533, 2534-2535, 2536-2537, 2538-2539, 2540-2541, 2542-2543, 2544-2545, 2546-2547, 2548-2549, 2550-2551, 2552-2553, 2554-2555, 2556-2557, 2558-2559, 2560-2561, 2562-2563, 2564-2565, 2566-2567, 2568-2569, 2570-2571, 2572-2573, 2574-2575, 2576-2577, 2578-2579, 2580-2581, 2582-2583, 2584-2585, 2586-2587, 2588-2589, 2590-2591, 2592-2593, 2594-2595, 2596-2597, 2598-2599, 2600-2601, 2602-2603, 2604-2605, 2606-2607, 2608-2609, 2610-2611, 2612-2613, 2614-2615, 2616-2617, 2618-2619, 2620-2621, 2622-2623, 2624-2625, 2626-2627, 2628-2629, 2630-2631, 2632-2633, 2634-2635, 2636-2637, 2638-2639, 2640-2641, 2642-2643, 2644-2645, 2646-2647, 2648-2649, 2650-2651, 2652-2653, 2654-2655, 2656-2657, 2658-2659, 2660-2661, 2662-2663, 2664-2665, 2666-2667, 2668-2669, 2670-2671, 2672-2673, 2674-2675, 2676-2677, 2678-2679, 2680-2681, 2682-2683, 2684-2685, 2686-2687, 2688-2689, 2690-2691, 2692-2693, 2694-2695, 2696-2697, 2698-2699, 2700-2701, 2702-2703, 2704-2705, 2706-2707, 2708-2709, 2710-2711, 2712-2713, 2714-2715, 2716-2717, 27

2874

CELEBRATING 100 YEARS OF INDEPENDENCE

התאחדות העובדים הכללית

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RESEARCH DESIGN

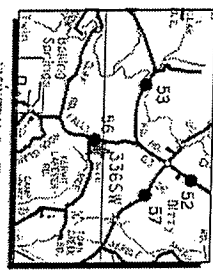
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Walter Dill Scott

PARCEL REFERENCE

STANDARD DEDUCTION

DEED REFERENCE

BEHOLD THE SAME THAT HE COULD NOT
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1-615-356-1547
TELETYPE ONE CALL
110 THE LAW



WHITTENBURG
LAND SURVEYING, INC.
314 EAST SHERWOOD STREET
COVINGTON, TN 38019
731 275-9300

AVA PLACE

STANLEY J. KATZ

DEARBY	49	TD	ACR	352
WHEEL OFFICE	100	100	100	100
PAKES	100	100	100	100
ADAMS	100	100	100	100
DATE	05-23-2018	05-23-2018	05-23-2018	05-23-2018
TIME	10:00	10:00	10:00	10:00

OWNERS

1433 HAWTHORNE
BOSTON, MASSACHUSETTS

SURVEYOR

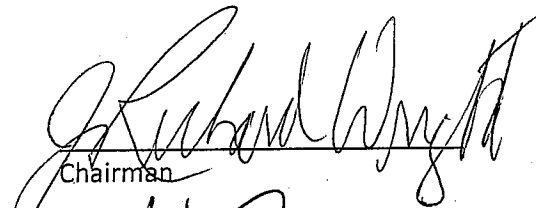
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ITEM 8: OTHER BUSINESS

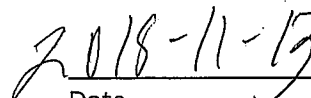
- Staff Report from Patrick Rinks-None.
- Staff Report from Kevin Rush- Staff noted that the next regular meeting of the planning commission would be on November 6, Election Day. The planning commission then agreed to postpone the meeting by one week, and meet on Nov 13, 2018 at 6:00 p.m.
- Other matters if necessary-None.

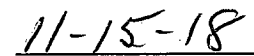
ITEM 9: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission is November 13, 2018.


Chairman


Secretary


Date


Date

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
SEPTEMBER 4, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, September 4, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Jim Martin, Jere Mason, Dale Moss, and Ted McWilliams. Ron Williamson arrived after Item 7A. Vice-Chair Kay Detwiler, Secretary Mike Atwood, and Phil Wilbourn were absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, and Taylor Dillehay of Whittenburg Surveying.

ITEM 1: APPROVE THE SEPTEMBER 4, 2018 AGENDA.

The agenda was approved with Jim Martin making motion, seconded by Ted McWilliams and with Chairman Wright voting since Ron Williamson hadn't arrived yet.

ITEM 2: MINUTES OF THE AUGUST 7, 2018 MEETING.

New Minutes were handed out with changes. Ted McWilliams moved to approve the August 7, 2018 Minutes. Motion was seconded and approved with Chairman Wright voting due to Ron Williamson's absence.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Revised Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval granted on 7/10/18.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval granted on 12/2/14. Extension granted until December, 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval granted on 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS: NONE

ITEM 7: SUBDIVISION PLATS

A. REVISED BOB SMITH FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This proposed subdivision, located at the southwest corner of the Hilham Road-Noel Drive intersection, near the Putnam-Overton County line was approved last month. It consisted of five lots on 5.81 acres. Lot 3 is flag lot with 50' road frontage. Due to soil conditions, they have reconfigured the lots and lost one lot. There are no existing structures in the subdivision. The developer will require fire suppression sprinkler systems as the nearest 6-inch waterline is more than the required distance from the site and no hydrants will be installed. Plat has the required plat note. The developers have decided to restrict driveway locations to Noel Drive to avoid having to get TDOT approval, as Hilham Road is a state route.

Here is the previously approved plat:

L

This is the revised plat:

[illegible]

Jere Mason moved to approve the plat as presented, subject to all signatures, soil approval by TDEC, and the addition of the Planning Commission Engineer plat certificate. Motion was seconded and approved unanimously with Chairman Wright voting due to Ron Williamson's absence.

B. CLAUDE & NILE REMSING DIVISION PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This plat is to adjust the boundary between Map 116, Parcels 018.00 & 019.00 and to create 2 lots from Parcel 019.00. All lots will front on Little Bennett Road, which ends in Parcel 019.00. Additional right-of-way has been dedicated to make the right-of-way 25' off center. The county road list shows a right-of-way width of 22' currently. There is a 6" water main on Austin Bottom Road but no public water line on Little Bennett Road. All existing houses are served by service lines running to Austin Bottom Road. One existing out building on Parcel 018.00 violates the rear setback. All other structures comply with the setback requirements. Taylor Dillehay explained that they were adding a 60 foot strip to Lot 3 from the rest of the property and then dividing the remainder into 2 lots. Patrick and I did a site visit this morning. Here is a list of things we noted:

1. The driveway entry columns/markers on Lot 3 need to be shown on the plat.
2. There is a metal pipe under the road that should be shown on the plat.
3. A 10 foot drainage easement from the pipe following the contour needs to be shown on the plat.

Need to find out where the water service lines are for Lots 1 and 3. Are they in the existing right-of-way? Are they in an easement? The water service line for Lot 2 will have to be in the right-of-way. Taylor Dillehay noted that the water lines for the existing structures were service lines in the right-of-way of Little Bennet Road and the service line to the new lot would also be in the right-of-way.

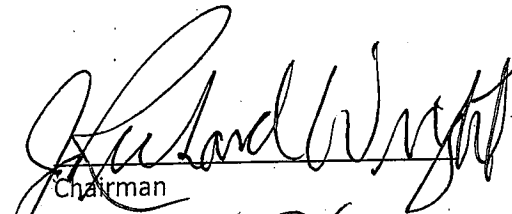
Jere Mason moved to approve the plat as presented, subject to all signatures, soil approval by TDEC, the addition of the Planning Commission Engineer plat certificate and staff additions noted above. Motion was seconded and approved unanimously with Chairman Wright abstaining. (Ron Williamson arrived after the vote on the previous item.)

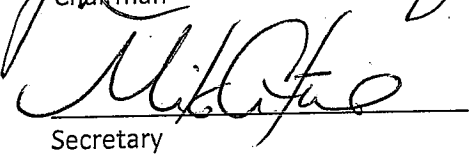
ITEM 8: OTHER BUSINESS

- Staff Report from Patrick Rinks-None.
- Staff Report from Kevin Rush- None
- Other matters if necessary-None.

ITEM 9: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission is October 2, 2018.


Chairman


Secretary

2018-10-02
Date

10.2.18
Date

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
AUGUST 7, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, August 7, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Dale Moss, Ted McWilliams, and Phil Wilbourn. Vice-Chair Kay Detwiler, Jim Martin, Jere Mason, and Ron Williamson were absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Joel Deason, Phillip Deason, and Chris Mabery of Whittenburg Surveying.

ITEM 1: APPROVE THE AUGUST 7, 2018 AGENDA.

The agenda was accepted by mutual consent.

ITEM 2: MINUTES OF THE JULY 10, 2018 MEETING.

Ted McWilliams moved to approve the July 10, 2018 Minutes as written. Motion was seconded and approved unanimously.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Revised Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 7/10/18.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. ROBERT AND GLORIA BELL PROPERTY PLAT, VICK SURVEYING, COOKEVILLE, TN

Created one 1.29 acre lot from 020 014.00 on Jeremiah Road. Administratively approved 7-9-18.

B. ELLEN HUDDLESTON DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one lot from 112 067.00 on Baxter Road. Administratively approved 7-24-18.

C. BOBBY LOU HODGES DIVISION FINAL PLAT, MAPLES SURVEYING, SPARTA, TN

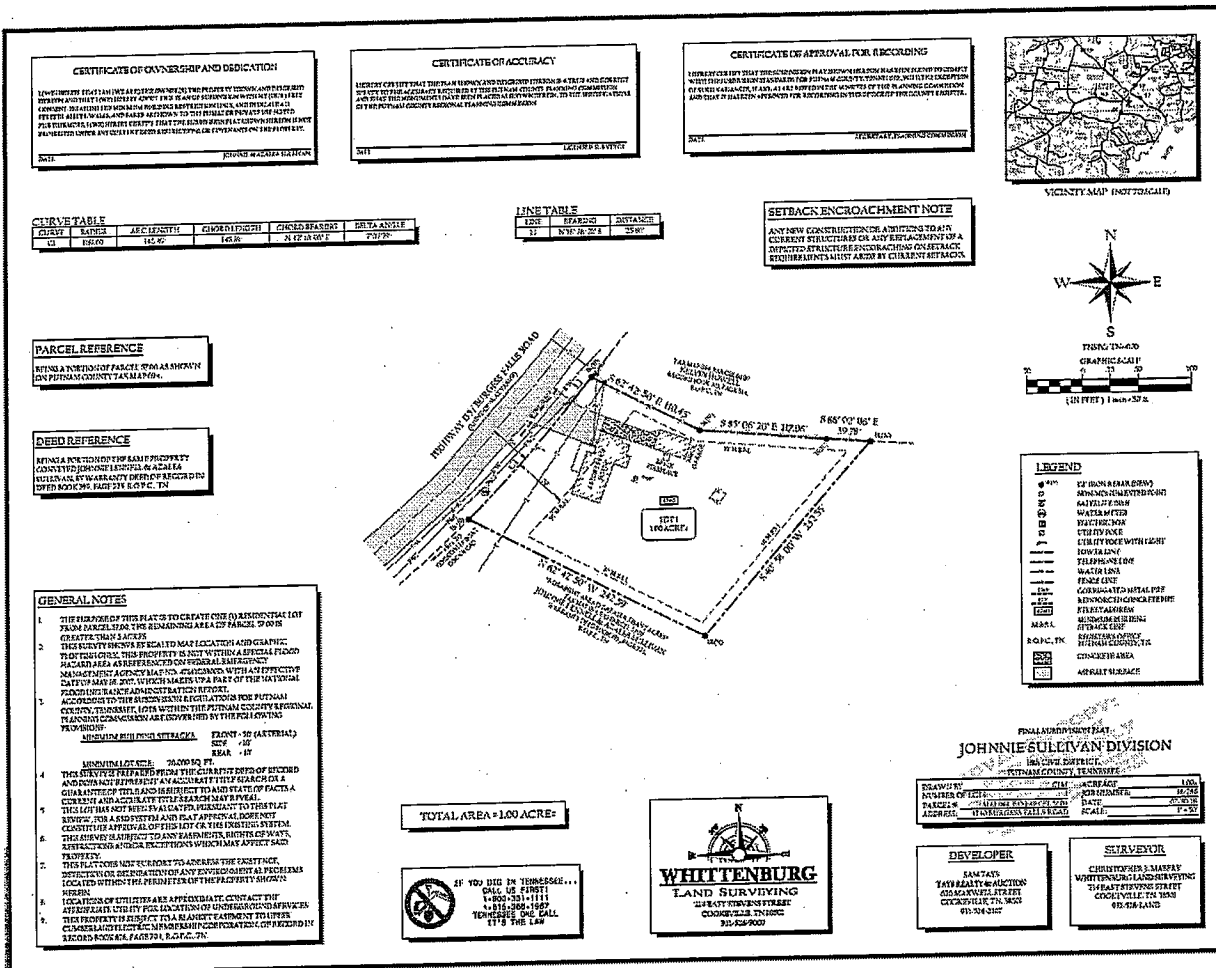
Created one lot from 111 008.02 on Cookeville Boatdock Road. Administratively approved 7-26-18.

ITEM 7: SUBDIVISION PLATS

A. JOHNNIE SULLIVAN DIVISION PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This plat is to create one 1.00 acre lot on Burgess Falls Road from Parcel 094 057.00 with more than five acres remaining. The state right-of-way is shown at 35 feet off center. The setback is 50 feet. There is a six-inch water line. The existing house violates the setback.

Dale Moss moved to approve the plat with the setback plat note with a variance on the house being in the setback. Motion was seconded and approved unanimously.



B. BOB SMITH FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This proposed subdivision is located at the southwest corner of the Hilham Road-Noel Dr. intersection, near the Putnam-Overton county line. It consists of five lots on 5.81 acres. There are no existing structures in the subdivision. The developer proposes to use fire suppression sprinkler systems as the nearest 6-inch waterline is more than the required distance from the site and no hydrants will be installed. Plat has the required plat note. TDOT approval of the driveway for Lot #5 would be required as Hilham Road is a state route, but the developer has decided to restrict the driveway location to Noel Drive, so no ingress/egress will be from the state route. Mr. Deason stated that they plan to build starter homes on the lots. Mike Atwood moved to approve the plat as presented, subject to all signatures, soil approval by TDEC, and the addition of the Planning Commission Engineer plat certificate. Motion was seconded and approved unanimously.

[illegible]

- Staff Report from Patrick Rinks-None.
- Staff Report from Kevin Rush- None
- Other matters if necessary-None.

9: ADJOURN
With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission is September 4, 2018.

2018-09-04
Date

Secretary

Date _____

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
JULY 10, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, July 10, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Vice-Chair Kay Detwiler, Secretary Mike Atwood, Jim Martin, Jere Mason, Ted McWilliams, Phil Wilbourn, and Ron Williamson. Dale Moss was absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Larry Burgess, David Burnett, Sam Tayes, Donnie Elkins, Taylor Dillehay, and Chris Mabery.

ITEM 1: APPROVE THE JULY 10, 2018 AGENDA.

The agenda was accepted by mutual consent.

ITEM 2: MINUTES OF THE JUNE 5, 2018 MEETING.

Ted McWilliams moved to approve the June 5, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. JOHNNY TAYES LINE ADJUSTMENT PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Moved pond from 070 035.00 and added it to 070 034.01 on Monterey Highway. Administratively approved 6-11-18.

B. LAMBERT DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one lot from 033 023.00 and part of 033 022.00. Administratively approved 6-19-18.

C. NEIL BARNETT DIVISION FINAL PLAT, MAPLES SURVEYING, SPARTA, TN

Divided 056 040.02 into 2 lots. Administratively approved 6-26-18.

D. TERRY BOONE PROPERTY FINAL PLAT, WIGGINS SURVEYING, GAINESBORO, TN

Created a 1.08 acre lot with a house from 029 032.06 on Cumby Road with over five acres remaining. Administratively approved 6-26-18.

E. LOTS 3 & 4 OF SHARON MEADOWS SUBDIVISION FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

Redivided 027 064.01 back into the original Lots 3 & 4. They had previously been combined. Administratively approved 6-26-18.

F. LOTS 19-21 OF LAKE POINTE SUBDIVISION FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

Divided Lot 20 between Lots 19 and 21. Map 067L, Group C, Parcels 019.00, 020.00, 021.00. Administratively approved 6-26-18.

G. GENE AND CAROLYN BARTON DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN.

Divided 028 009.01 on Gainesboro Highway into two lots. Administratively approved 7-2-18, subject to soils and TDOT approval of the driveways.

ITEM 7: SUBDIVISION PLATS

A. REVISED WESTOWNE ESTATES PRELIMINARY PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

The preliminary plat has been revised due to soils. They are moving the streets from the original proposed locations, eliminated one proposed street and have lost 9 lots.

From the May, 2017 Minutes:

"This preliminary plat is to subdivide Parcels 006.00 and 006.07 on Tax Map (63.91 acres) into 69 lots. The plat shows four proposed new streets: Westowne Avenue (which will be 1561 linear feet long), Westowne Court (which will be 545 linear feet long), Westowne Way (which will be 450 linear feet long), and Westowne Circle (which will be 3700 linear feet long). This plat is shown on three sheets. The cover sheet shows the entire subdivision at a 1" = 200' scale. Sheet 2 shows 19 lots on Westowne Avenue and Westowne Court at a 1" = 100' scale. Sheet 3 shows the remaining 50 lots on Westowne Circle and Westowne Way at a 1" = 100' scale. Six-inch waterlines will be installed throughout the subdivision. Hydrants are not shown on the plat. This subdivision will require several hydrants. The roads are all shown with 50' of right-of-way. Planning Director Rush is concerned that the traffic generated by this subdivision will require a turning lane at the entrance for those turning north.

Chairman Wright stated that this was a large number of lots coming off a single entrance and was concerned about ingress/egress of emergency vehicles. Charles Whittenburg stated that the developers would be willing to make the entrance three lanes and add a turnaround at Westowne Court. Planning Director Rush asked if they wanted to do the development in phases or all at once. The developers stated that they would be completing the development in one phase. There is an 8-inch waterline on Gainesboro Grade. The developer does not plan to install curb and gutters in the development.

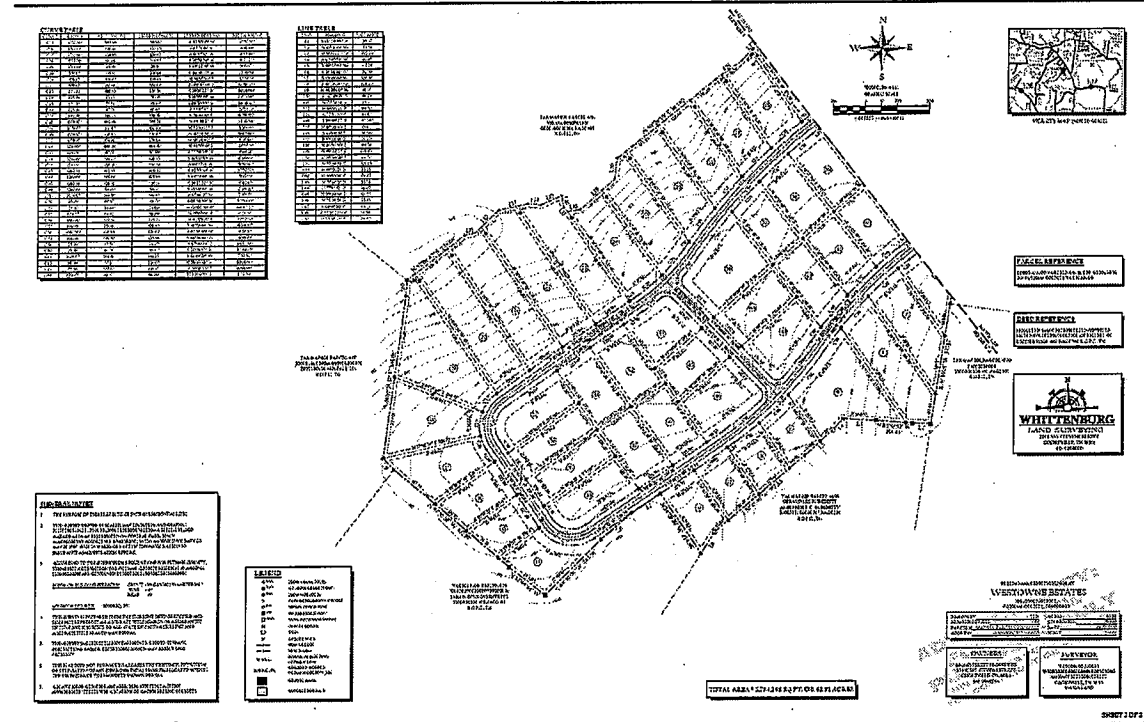
It was noted that the developer will have to work with TDOT on getting approval for the entrance and that TDOT may require additional improvements on the state right-of-way.

John Donnelly moved to approve the preliminary plat with the cul-de-sac turn around added to the intersection of Westowne Avenue and Westowne Court; the entrance being made three lanes, and submittal of the plan and profile of all the roads. Motion was seconded and approved unanimously with Chairman Wright abstaining."

Westowne Court has been eliminated and replaced with a couple of flag lots. TDOT did not want the wider entrance, so they have narrowed it back to 2 lanes. They do show the cul-de-sac turn around where the old Westowne Court intersected Westowne Avenue. TDOT is going to require that the developers install a northbound left turning lane from Gainesboro Grade (Highway 290) into the development. Chairman Wright stated that the reason we asked for the wider entrance was that we look to ensure safety of the residents to get in and out during an emergency.

Requiring a wider right-of-way at the subdivision entrance was discussed for a future third lane. It was decided that a third lane could be added within 50' right-of-way depending on layout of utilities. Similar sized subdivisions have a 20' wide road at entrance.

Jere Mason moved to approve the plat as presented. Motion was unanimously approved with Chairman Wright abstaining.



B. RE-DIVISION OF EASTLAKE TRACT 10 FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

This property, owned by Albert Ogden, was discussed at the January 2, 2018 meeting. This is from the Minutes of the January 2, 2018 meeting:

Mr. Albert Ogden wanted to be on the agenda to discuss subdividing his tract with a portion being sold to a cave conservation group. He would like to sell the cave on a landlocked parcel, accessed via an easement, to a cave conservation group, restricted so that no residential/commercial structure could be built on the lot. Here is what he sent me in our email exchanges.

Hi Mr. Rush, I own 8.14 acres in Eastlake Subdivision that I bought about 25 years ago to protect the cave on the property. I was a geology professor at Tech in those days but am now retired and live in Murfreesboro. My address is 6478 Jones Lane, Murfreesboro, TN 37127. I have been trying to sell my land with the cave in Eastlake to the National Speleological Society or SE Cave Conservancy for a couple years now and have recently contacted the Nature Conservancy who I have done geology consulting work for. Because the land is in a subdivision it is a bit pricier than they are accustomed to buying to preserve caves. The cave is called Secret Cave and is considered to be one of the top 5 most beautiful caves in the state which is why I bought it to preserve it. About 3 years ago I was in your office when Jonathan Ward was there and spoke with him about surveying off about 2.5 acres of my 8.1 acres to make it affordable with whoever buying it, willing to sign any necessary agreement of understanding that the land would be declared greenspace and forever not to be built upon. Mr. Ward did not think that would be a problem and thought the board would approve it. I also have an individual caver who would like to buy it to preserve it and sign a similar agreement. I've been retired for 3 years now and want to get the cave in the right hands and I could use a little extra cash. I met with a Board of Governor and member of the Cave Acquisition Committee of the National Speleological Society to discuss some of the things we talked about. I asked them to provide me some form of Intent to Purchase letter to present to the

Putnam County Planning Commission. They had no problem promising never to put a building on the property. I also called a surveyor over there to get an estimate for the survey. Before I pay for that and waste a bunch of money, I would like to discuss the proposed plan with the commissioners briefly at the next meeting to see what they think and exactly what type of paperwork they want from the NSS....you said something about a contract. The NSS rep said they should have no problem getting a letter of intent to purchase before that meeting.

His property can be seen on the TN Property Data Page by clicking here: Ogden. Map 082 Parcel 019.07. The GPS location of the cave on Google Maps is shown by clicking here.

Mr. Ogden stated that he bought the lot to protect the cave. He wishes to sell the cave entrance. Mike Atwood stated that if the entire cave is not contained within the lot being sold, that the new owner could bore straight down into the cave. Mr. Ogden acknowledged that was something that could happen, but the cave group buying the cave knows that too.

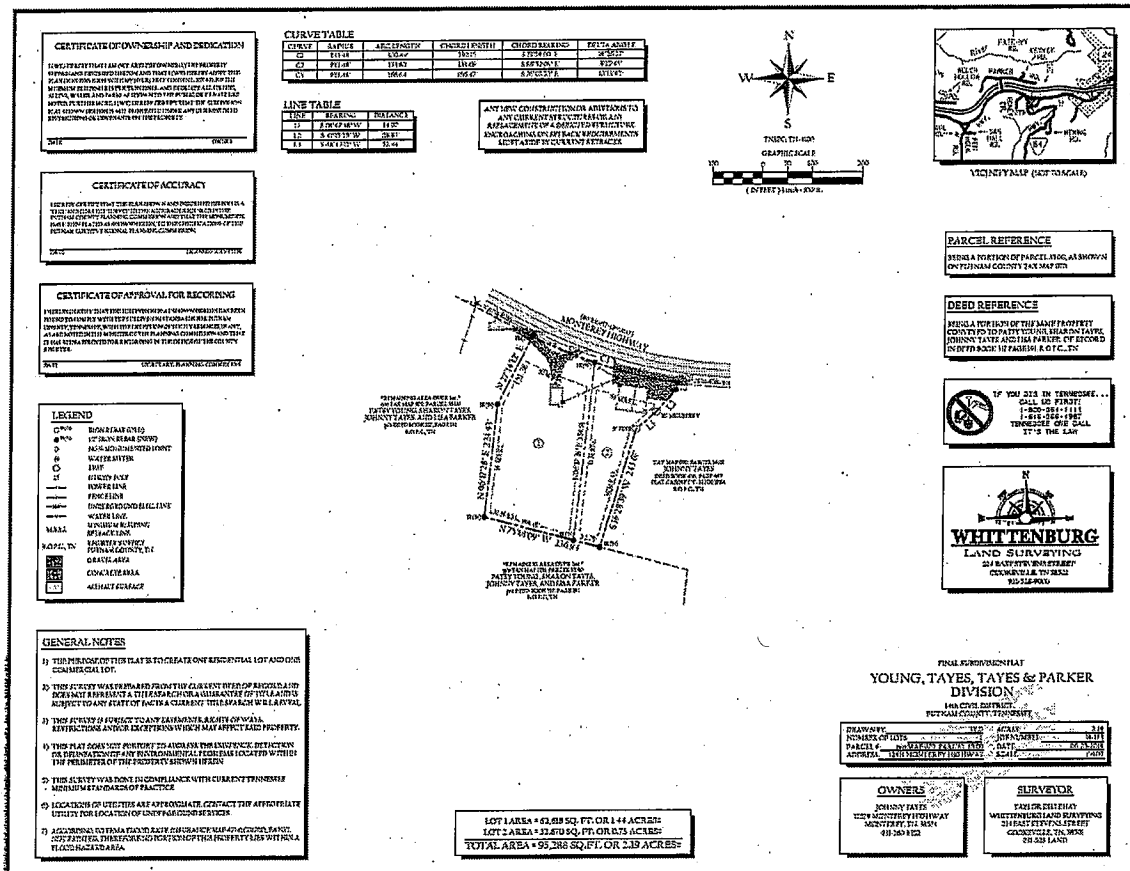
While no action was taken on this item, the planning commission felt that it would be possible to subdivide this tract and were amenable to several options. The developer must submit a plat of how he wants to divide the parcel for the planning commission to take any action.

He has had a plat prepared. The cave entrance and 2.23-acre lot will be sold to a cave preservation group that cannot be built upon and will be accessed via an ingress/egress easement. The remainder will be a 6-acre tract that will be a buildable lot. He has had the soils on this lot evaluated to ensure buildability.

After much discussion, Jim Martin moved to approve subject to signatures. Motion was seconded and approved unanimously with Chairman Wright abstaining.

This plat is to create two lots from part of Parcel 035.00 on Map 070 on Monterey Highway. There is a building on each lot, one of which violates the front setback. The tax maps do not show the current boundary with Parcel 034.01. The pond was added to that parcel by an administratively approved plat that was approved in June, 2018. The structure on Lot 1 is a house, and the structure on Lot 2 is an old auto repair service. Since this subdivision is located on a state route, the driveways will require TDOT approval. Staff recommended approval of the subdivision subject to a letter from TDOT approving the driveways being added to the plat.

Minutes of the Putnam County Regional Planning Commission July 10, 2018 Meeting



D. ROBIN MEADOWS DIVISION FINAL PLAT, WHITTENBURG SURVEYING,
COOKEVILLE, TN

This plat is to create four lots on 3.31 acres from Parcels 017 056.00 and 017 056.01. Four structures violate the front setback. They are a house on Lot 2, a house, and a detached carport on Lot 1, and other shed/barn on Lot 3. There is a 6-inch waterline and they show a proposed hydrant between Lots 2 and 3. Planning Commission Engineer Rinks and Planning Director Rush reviewed the plat and had the following corrections that were needed to the plat: 1) Plat note #2 needs to be deleted; 2) The water pressure certificate needs to be added. This is the one signed by the UD engineer; 3) The addition of any tiles under the driveways; 4) The addition of a dimension showing 25 foot off center for these lots; and 5) Adding a 20 wide drainage easement from the center of the creek.

After some discussion, Mike Atwood moved to approve the plat subject to 1) Plat note #2 needs to be deleted; 2) The water pressure certificate needs to be added. This is the one signed by the UD engineer; 3) The addition of any tiles under the driveways; 4) The addition of a dimension showing 25 foot off center for these lots; 5) Adding a 20 wide drainage easement from the center of the creek, and the installation of the hydrant. Motion was seconded and approved unanimously with Chairman Wright abstaining.

- Staff Report from Patrick Rinks-None.

- Staff Report from Kevin Rush- Planning Director Rush stated that as part of the submitting his budget to the county, he requested that each member of the planning commission receive a travel stipend of \$100 per meeting, the same amount that Members of the Cookeville Planning Commission receive. The budget committee reduced the amount to \$50 per member per meeting in the budget that goes to the full County Commission for consideration. Staff will let the members know if the budget that passes includes this stipend.
- Other matters if necessary-None.

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission is August 7, 2018.

Richard Wright
Chairman

W. B. F. F.
Secretary

2015-08-07
Date

8-7-15
Date

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
JUNE 5, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, June 5, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Vice-Chair Kay Detwiler, Secretary Mike Atwood, Jim Martin, Ted McWilliams, Jere Mason, Dale Moss, and Phil Wilbourn. Ron Williamson was absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Darrell Hall, Paul Isbell, Samantha Isbell, and Brent Malchow.

ITEM 1: APPROVE THE JUNE 5, 2018 AGENDA.

The agenda was accepted by mutual consent. Magnolia Heights was added after Agendas had already been mailed out.

ITEM 2: MINUTES OF THE MAY 1, 2018 MEETING.

Ted McWilliams moved to approve the May 1, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017. Planning Director Rush reported Skip Bartlett had been in contact and said several lots were lost due to poor soils and that they planned to submit revised preliminary plat in two to three months.

Redivision of Lots 4 & 5 Beckner Estates, Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Rush reported that developer contacted him about road being ready to pave. Rush and Rinks looked at this and it appeared no changes have been made to road in several years. Improvements will be required prior to final approval. Extension granted until December, 2018.

Magnolia Heights Preliminary Plat, Allen Maples, Surveyor. Conditional preliminary approval 5/1/18.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. WILLIAM & KASEY LANE PROPERTY, WHITTENBURG SURVEYING, COOKEVILLE, TN
Created one new lot from Parcel 112 023.05 on Thomas Twin Oaks Road. Administratively approved 5-2-18.

B. ALRED AND ALRED DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Split Parcels 084 016.03 & 016.04 on Harding Road into 2 lots. Administratively approved with variances 5-2-18.

C. BEAR CREEK COVE PHASE 2 FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one new lot from Parcel 008 043.04 on Paran Road at Burgess Allen Road. Administratively approved subject to soil approval 5-4-18.

D. REVISED MINNIE JEWELL ADKINS DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Minnie Jewell Adkins Division was administratively approved in March, 2018. Revised lot with house and buildings on Spring Creek Road from Parcel 020 021.00 with over five acres remaining. Accessory buildings encroached into side setback. Administratively approved with variances 5-14-18.

E. REDIVISION OF LOTS 26-29 OF DEER RUN SUBDIVISION FINAL PLAT, L.I. SMITH AND ASSOC. SURVEYING, COOKEVILLE, TN

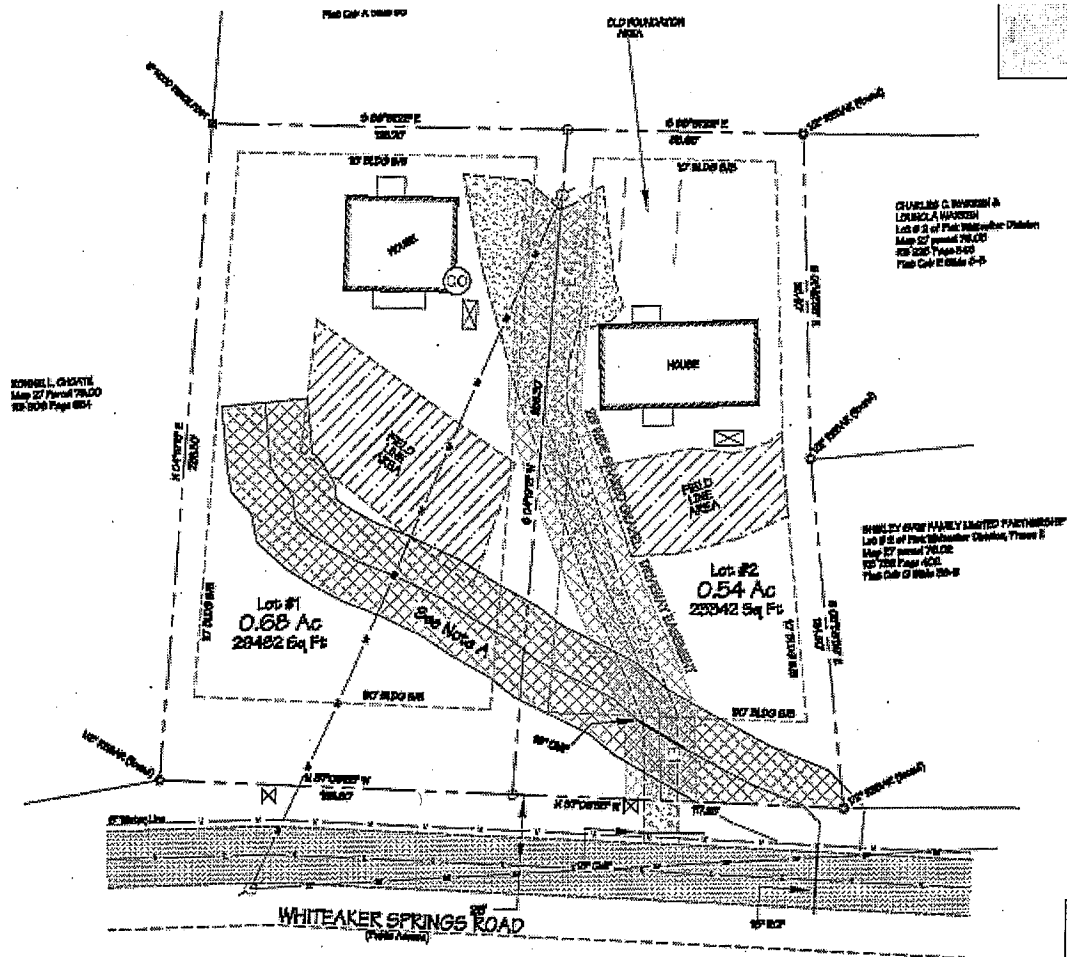
Redivided four lots into two lots. Map 055P, Group A, Parcels 024.00, 025.00, 026.00, & 027.00. Administratively approved 5-23-18.

ITEM 7: SUBDIVISION PLATS

A. REDIVISION OF LOT 1--FISK WHITEAKER DIVISION PHASE 2 FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

This is a final plat dividing one lot on Whiteaker Springs Road, specifically 027 076.04 into lots of 0.68 acre and 0.54 acre. Both proposed lots are on an existing county road and are served by a six inch water line. Each lot has an existing house. No structures violate setbacks. The reason this is before the planning commission is that there is a very large and deep drain that runs in front of both houses between each house and the road. The houses share an existing drive with a bridge/box culvert. The developer would like to split the lot with a house on each proposed lot. The plat originally depicted a 30 foot (15 foot off center) drainage easement along the entire drain. A proposed 25 foot ingress/egress easement was shown along driveway on Lot 2 to the proposed property line. The planning commission discussed if this would be adequate as it appears that Lot 2 may have to cross onto Lot 1 to access the house on Lot 2. This plat was deferred until the June, 2018 meeting for the developer to work with staff to work out the ingress/egress easement issues.

The ingress/egress easement has been changed to 25 feet wide (12.5 foot off center) of the existing drive and along the proposed lot line for both lots. It is 12.5 feet off the common boundary line and 12.5 feet off center of the existing driveway. It will allow both lots easy access to the area behind each house. Long discussion held regarding easements and maintenance agreements. Work with Rush on agreement and file with deed(s). Mike Atwood moved to approve the plat as presented, subject to a maintenance agreement being recorded to cover how the driveway will be maintained once the lots are sold. Motion was approved with one no vote (Phil) and the chairman abstaining.

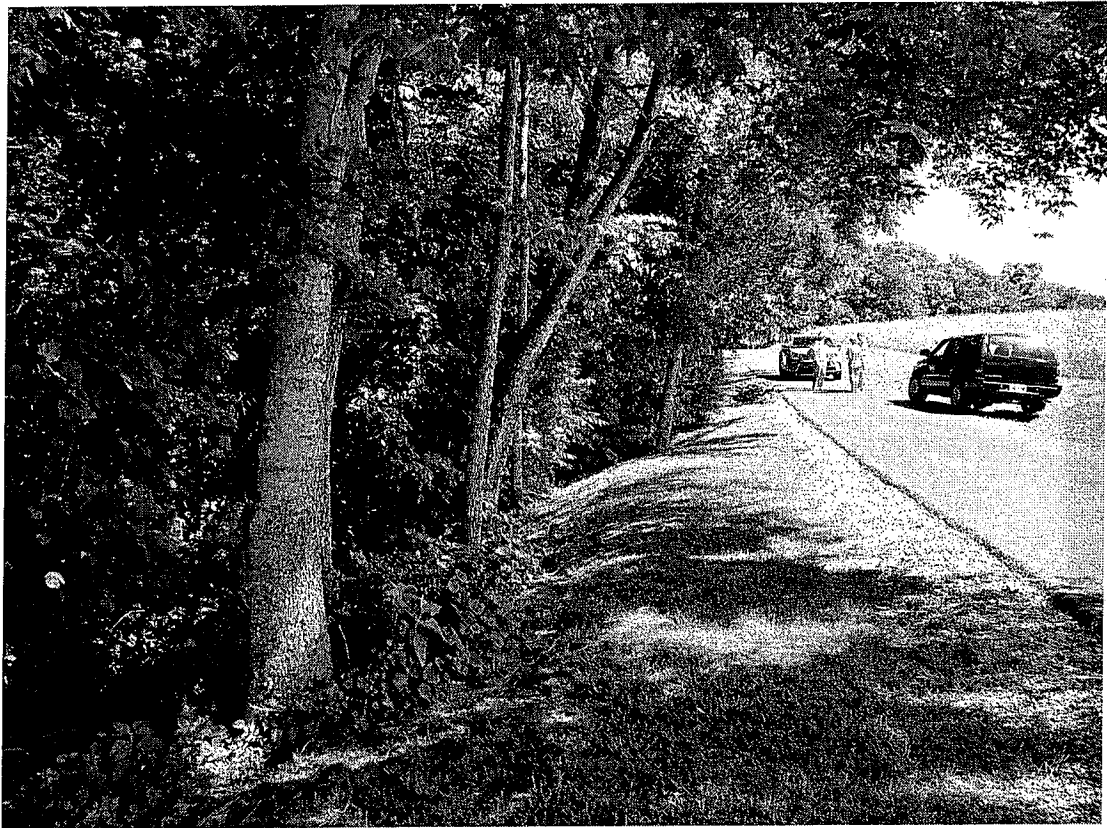


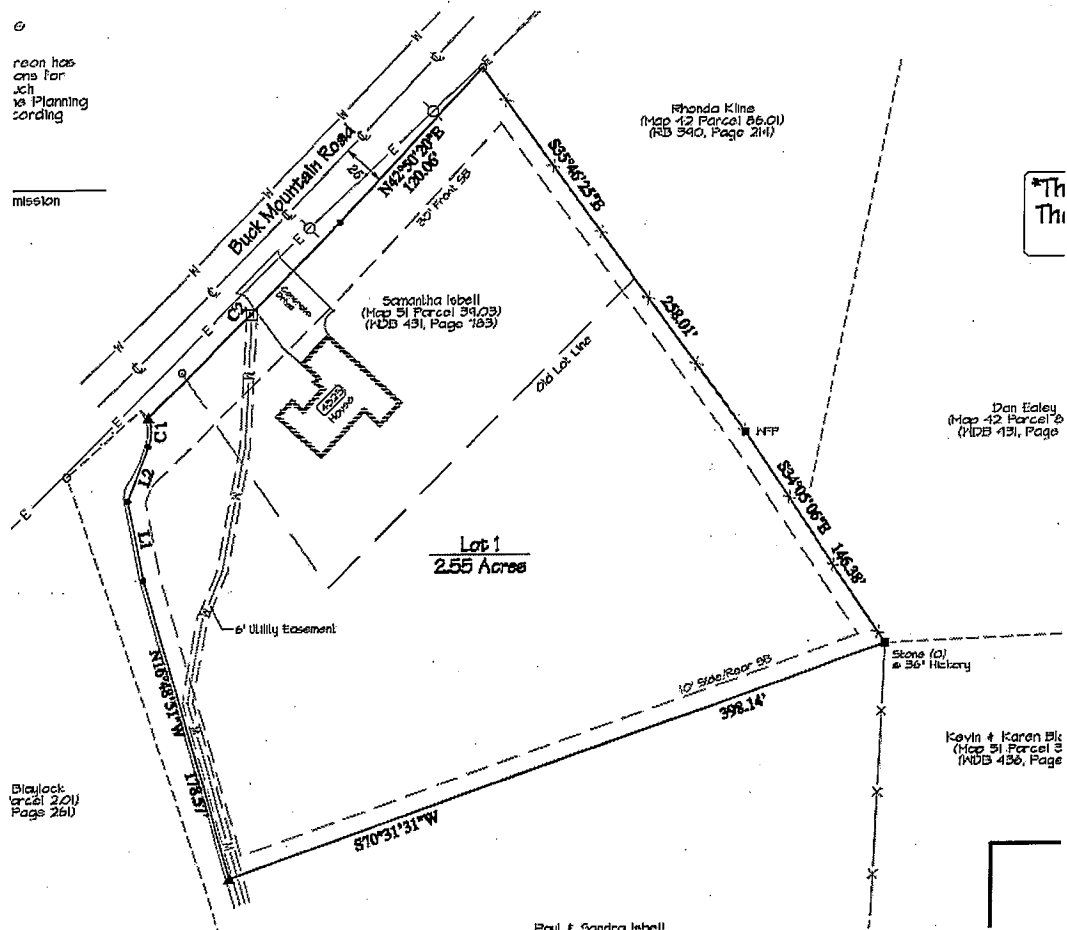
B. ISBELL LOT LINE ADJUSTMENT PLAT, CLINTON SURVEYING, COOKEVILLE, TN

This is a proposed lot line adjustment between Tax Map 051 Parcels 039.02 & 039.03 on Buck Mountain Road. Plat will increase Parcel 039.03 to 2.55 acres with Parcel 039.02 being over 60 acres and exempt from the Subdivision Regulations. However, it will essentially be a flag lot with less than 25 feet of frontage on Buck Mountain Road. Planning Director Rush was not comfortable administratively approving the division knowing that the strip leading back to the 60 acres is approximately 15 feet wide at its narrowest point. There is also a 6' waterline easement crossing over 039.03 serving 039.02.

Paul and Samantha Isbell stated that the existing drive going back to the remainder of the Isbell tract is the only usable area and that the property is very steep just a few feet from that drive and making the strip wider would not allow a wider drive than what is already there. Staff showed pictures to try to illustrate the slope.

After much discussion, Ted McWilliams moved to approve subject to the strip being a minimum of 25 feet wide to comply with the flag lot requirements. Motion was seconded and approved unanimously with Chairman Wright abstaining.





- ITEM 8: SPRINKLER OPTION CODIFICATION** — This is the second reading of a resolution to adopt a sprinkler requirement in subdivisions without traditional fire protection. Jim Martin moved to approve the resolution on second and final reading to adopt the authority to enforce sprinkler requirements in the county as part of a subdivision. Motion was seconded and approved with 8 yes, 0 no, 1 absent.

RESOLUTION NO. 18-4-001

A Resolution of the Putnam County Regional Planning Commission to Adopt a Requirement That Under Certain Conditions Fire Suppression Sprinkler Systems May Be Required

WHEREAS, the Tennessee Code gives local governments, via their planning commissions, the authority to adopt and enforce Subdivision Regulations; and

WHEREAS, where appropriate water infrastructure is not in place to sufficiently serve the needs of residents and provide fire protection via the placement of fire hydrants over the entire extent of the unincorporated areas of Putnam County; and

WHEREAS, the future owners of such tracts could potentially face dangers from house and other fires that without said infrastructure could result in loss of property and life in the case of a fire; and

WHEREAS, the Putnam County Regional Planning Commission feels this is a disservice to the future owners of such tracts; and

WHEREAS, the Putnam County Regional Planning Commission has been approached by developers to allow fire suppression sprinkler systems in areas that do not have the infrastructure for traditional fire protection via fire hydrants but are served by public water systems with water mains that cannot support traditional fire protection via hydrants; and

WHEREAS, the Putnam County Regional Planning Commission may adopt a requirement that fire suppression sprinkler systems may be required in subdivisions where traditional fire protection cannot be provided without exorbitant expense to the developer; and

WHEREAS, the Putnam County Regional Planning Commission is not adopting the requirement that fire suppression sprinkler systems be installed in all single family residential structures; and

WHEREAS, the adoption of the requirement that fire suppression sprinkler systems be installed in single family residential structures must be done pursuant to the procedure set out in **Tenn. Code Ann. § 68-120-101**; and

WHEREAS, the Putnam County Regional Planning Commission wishes to allow developers the flexibility to allow development of property where traditional methods of fire protection are not available; and

WHEREAS, the Putnam County Regional Planning Commission will set the standard for when and under what circumstances fire suppression sprinkler systems are allowed and traditional fire protection via fire hydrants is not required; and

WHEREAS, a public hearing was held on May 1, 2018 and June 5, 2018 with public notice of public hearing published on April 24, 2018 and May 15, 2018 in a newspaper of general circulation, the Herald-Citizen; and

NOW, THEREFORE, BE IT RESOLVED that the Putnam County Regional Planning Commission adopts the sprinkler requirement as follows:

SECTION I: The Putnam County Regional Planning Commission hereby adopts a requirement that fire suppression sprinkler systems be installed in each single family residential structure in subdivisions, in the unincorporated areas of the county that are without access to traditional fire protection via fire hydrants; and

SECTION II: All fire suppression sprinkler systems SHALL be installed according to the latest edition of the NFPA 13D (Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings and Manufactured Homes), which as of adoption of this Resolution is the 2016 edition; and

SECTION III: All fire suppression sprinkler systems installed in mobile and manufactured homes shall be consistent with the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes; and

SECTION IV: The fire suppression sprinkler system requirement will take effect following the adoption of an amendment to the Putnam County Subdivision Regulations formalizing the conditions under which fire suppression sprinkler systems are allowed.

Adopted by the Putnam County Regional Planning Commission:

First Reading: May 1, 2018 Vote: 7 Yea, 0 No, 1 absent, 1 abstains

Second Reading: June 5, 2018 Vote: 8 Yea, 0 No, 1 absent

Chairman, Putnam County Regional Planning Commission June 5, 2018
Date

ATTEST:

Secretary, Putnam County Regional Planning Commission June 5, 2018
Date

ITEM 9: SPRINKLER OPTION SUBDIVISION REGULATIONS AMENDMENT — Mike Atwood moved to approve the Resolution to amend the Subdivision Regulations to enforce sprinkler requirements in the county as part of a subdivision under certain conditions. Motion was seconded and approved with 8 yes, 0 no, 1 absent.

Resolution 18-4-002

**AN AMENDMENT TO THE PUTNAM COUNTY SUBDIVISION REGULATIONS REGARDING
FIRE SUPPRESSION SPRINKLER SYSTEMS**

WHEREAS, as stated under *Section 13-3-403 of the Tennessee Code Annotated*, inclusive, authorizes the Putnam County Regional Planning Commission to revise the Subdivision Regulations to protect the health, safety and welfare of the general public; and

WHEREAS, the adoption of a requirement that fire suppression sprinkler systems be installed in single family residential structures must be done pursuant to the procedure set out in Tenn. Code Ann. § 68-120-101; and

WHEREAS, the Putnam County Regional Planning Commission has followed the prescribed manner to adopt the sprinkler requirement; and

WHEREAS, a public hearing was held on June 5th, 2018 with public notice of public hearing published on April 24th, 2018 and May 15th, 2018 in the Herald Citizen Newspaper; and

WHEREAS, the Putnam County Regional Planning Commission voted on June 5th, 2018 to amend the Putnam County Subdivision Regulations, and

NOW, THEREFORE, BE IT RESOLVED by the Putnam County Regional Planning Commission as follows:

SECTION I: The Subdivision Regulations for Putnam County, Tennessee as indicated shall be amended as follows:

Article III, Section C, Item #7 shall be added to read as follows:

7. If adequate water supply via a 6-inch water main and fire hydrants installed within 500 ft. of each residential lot is not available, the installation of fire suppression sprinkler systems shall be required in each residential dwelling unit (house, apartment, etc.) in accordance to the following requirements:

- a. Minimum distance from the closest lot in a subdivision to the nearest 6-inch water main shall be recorded on the plat.
 - i. If the minimum distance from the closest lot in a 3 to 5 lot subdivision to the nearest 6-inch main exceeds 500 ft. and each lot is served by at least a 2-inch water main, fire suppression sprinkler systems shall be installed.
 - ii. If the minimum distance from the closest lot in a 6 to 20 lot subdivision to the nearest 6-inch main exceeds 2000 ft. and each lot is served by at least a 4-inch water main, fire suppression sprinkler systems shall be installed.
 - iii. For subdivisions of more than 20 lots, fire hydrants, supplied by a minimum 6 inch main, which meet minimum specifications for fire flow, are required.
- b. All fire suppression sprinkler systems SHALL be installed according to the latest edition of the NFPA 13D (Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings and Manufactured Homes) which as of adoption of this resolution is the 2016 edition AND/OR the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes."

- c. All fire suppression sprinkler systems installed in mobile and manufactured homes shall be consistent with the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes.
- d. Existing residential structures shown on the plat are exempt from this sprinkler requirement. If any existing structures shown on the plat are removed or destroyed, any replacement of said structure must comply with the sprinkler requirements.
- e. Plats that are allowed to use sprinklers shall include the following plat note: Per the Putnam County Regional Planning Commission: residential lots included in this plat will be required to install residential sprinkler systems in accordance with requirements found in NFPA 13D, Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings or the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes. Existing residential structures shown on the plat are exempt from this sprinkler requirement. If any existing structures shown on the plat are removed or destroyed, any replacement of said structure must comply with the sprinkler requirements.
- f. Plats utilizing sprinklers are not eligible for administrative approval.
- g. The developer shall list this requirement on each deed, and said requirement shall only be removed upon express permission of the planning commission.

SECTION II: This amendment shall become effective on July 1, 2018:

Chairman, Putnam County Regional Planning Commission

June 5, 2018
Date

ATTEST:

Secretary, Putnam County Regional Planning Commission

June 5, 2018
Date

ITEM 10: OTHER BUSINESS

- Staff Report from Patrick Rinks-None.
- Staff Report from Kevin Rush-None.
- Other matters if necessary-None.

ITEM 11: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission was moved to July 10, 2018 at 6:00 p.m. at the Putnam County Courthouse conference room due to the Fourth of July celebration and events.

Chairman

2015-07-10
Date

Secretary

7-10-18
Date

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
MAY 1, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, May 1, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Jim Martin, Ted McWilliams, Jere Mason, Dale Moss, Phil Wilbourn, and Ron Williamson. Vice-Chair Kay Detwiler was absent. Also present were Planning Director Kevin Rush, Jim Herrin with the Herald-Citizen, Darrell Hall, and Bobby Centers (Maples Surveying) and Brent Malchow. Planning Commission Engineer Patrick Rinks was absent.

ITEM 1: APPROVE THE MAY 1, 2018 AGENDA.

The agenda was accepted by mutual consent. Item 7B was added as a late submittal.

ITEM 2: MINUTES OF THE MARCH 6, 2018 MEETING.

Ted McWilliams moved to approve the March 6, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining. There was no meeting during the month of April 2018.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017.
Redivision of Lots 4 & 5 Beckner Estates—Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December 2018.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. MINNIE JEWELL ADKINS DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one lot with house and buildings on Spring Creek Road from Parcel 020 021.00 with over five acres remaining. Accessory buildings encroached into side setback. Administratively approved with variances 3-20-18.

B. JIMMY HAGGARD DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one new lot from Parcel 062 025.00 on Tightfit Road. Administratively approved with variances 4-23-18.

C. LEAMON AND SHARON SLIGER DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

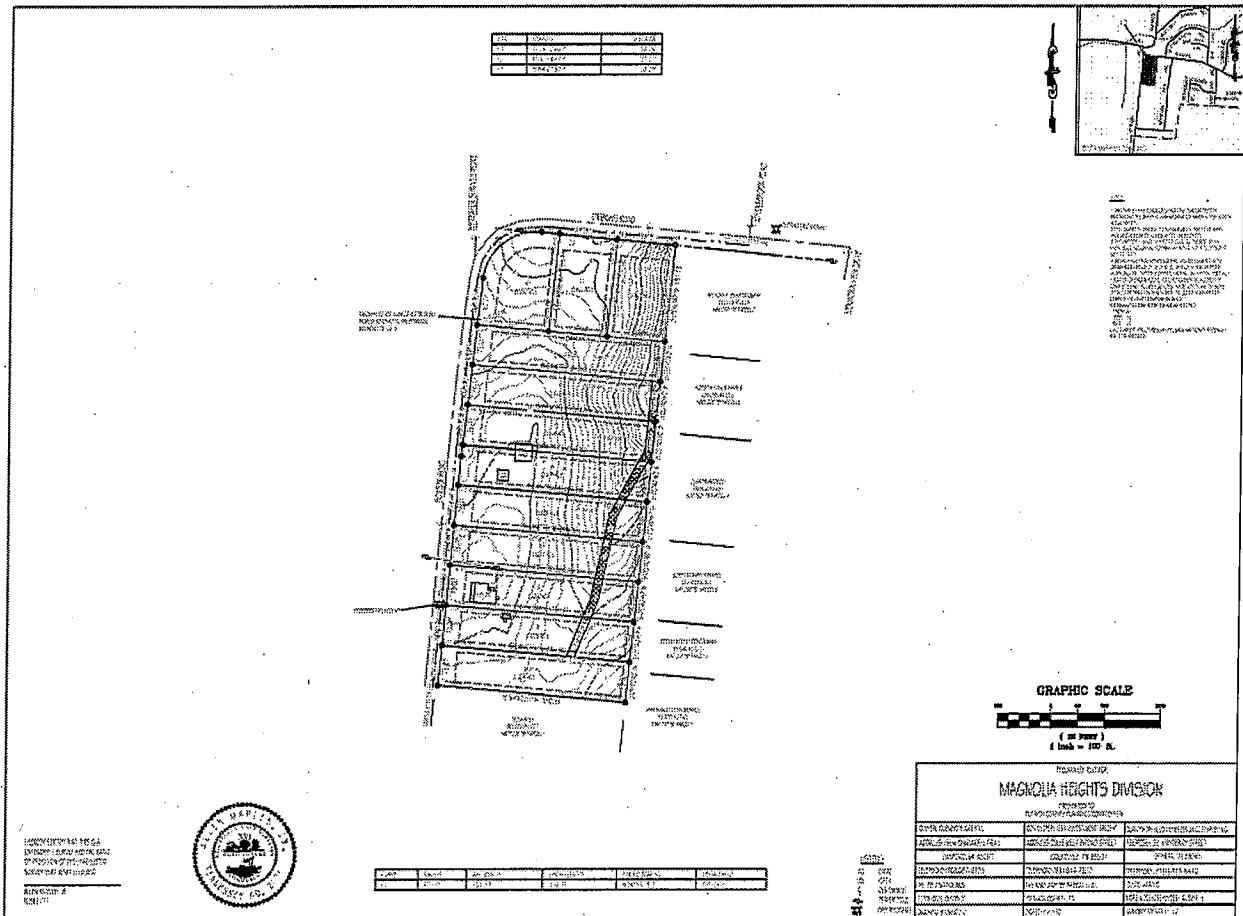
Created two lots on Cowan Road from Parcel 085 064.04 with over five acres remaining. Administratively approved subject to soils approval 4-23-18.

ITEM 7: SUBDIVISION PLATS

A. MAGNOLIA HEIGHTS DIVISION PRELIMINARY PLAT, MAPLES SURVEYING, SPARTA, TN

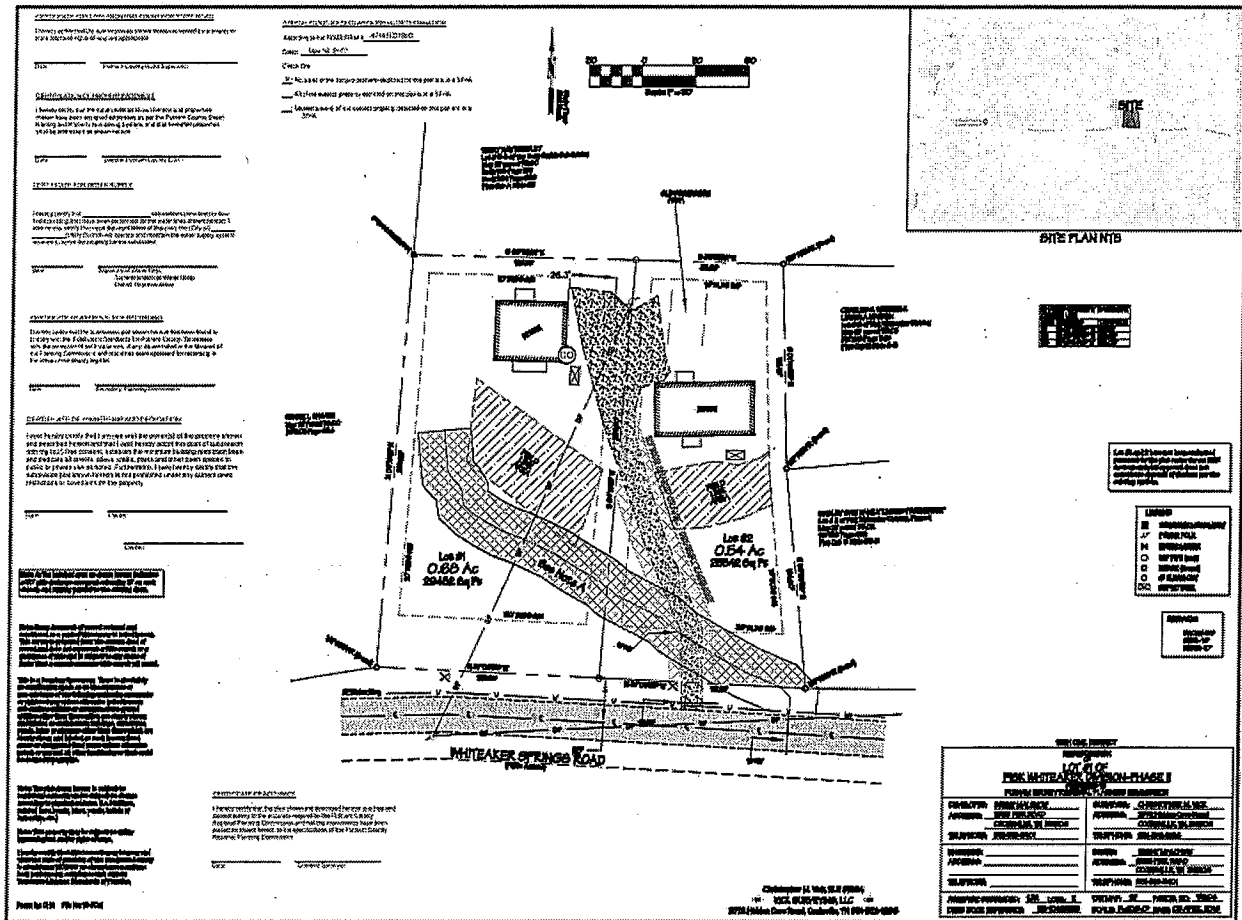
This is a preliminary plat consisting of 12 lots on Bowser Road, specifically 029P B 001.01 on 6.844 acres. All proposed lots are on an existing county road and are served by a six inch water line. There is one existing fire hydrant just off site that will serve the subdivision as well as one proposed fire hydrant. Lots 1-9 are 75 feet wide and just over 350 deep. Lot 3 has an existing house. The building shown on Lots 6-7 will have to be moved or removed. Patrick Rinks emailed the following recommendations: "Recommend a drainage easement along back of Lots 3-8. Driveway access to Lot 12 could be difficult with bank. Recommend driveway on Lot 10 be located near Lot 9. We verified existing fire hydrant shown on plat. Another is shown on plat to

be added between Lots 2 and 3. Approval will be subject to an Engineer signing Water Pressure Certification. Recommend preliminary approval of plat subject to soils and other conditions." Developer submitted an amended plat before the meeting that notes that all existing structures shown on the plat are to be removed, indicating the house is to be demolished as well as the accessory structures. Revised plat also addressed the recommendations from Planning Commission Engineer Rinks. It was noted at the meeting that the planning commission would like to have the existing drain pipe under Gibbons Road along the natural drain. Mike Atwood moved to approve the preliminary plat subject to the addition of the tile under Gibbons Road. Motion was seconded and approved unanimously with Chairman Wright abstaining.



B. REDIVISION OF LOT 1 FISK WHITEAKER DIVISION PHASE 2 FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

This is a final plat dividing one lot on Whiteaker Springs Road, specifically 027 076.04 into lots of 0.68 acre and 0.54 acre. Both proposed lots are on an existing county road and are served by a six inch water line. Each lot has an existing house. No structures violate setbacks. The reason this is before the planning commission is that there is a very large and deep drain that runs in front of both houses between each house and the road. The houses share an existing drive with a bridge/box culvert. The developer would like to split the lot with a house on each proposed lot. The plat depicted 30 foot (15 foot off center) drainage easement along the entire drain. A proposed 25 foot ingress/egress easement was shown along driveway on Lot 2 to the proposed property line. The planning commission discussed if this would be adequate as it appears that Lot 2 may have to cross onto Lot 1 to access the house on Lot 2. This plat was deferred until the June, 2018 meeting for the developer to work with staff to work out the ingress/egress easement issues.



ITEM 8: SPRINKLER OPTION CODIFICATION — Mike Atwood moved to approve the first reading of a resolution to adopt a sprinkler requirement in subdivisions without traditional fire protection. See attached resolution. Motion was seconded and approved unanimously with Chairman Wright abstaining. Motion was approved by a 2/3 vote of the entire planning commission. Second reading will be at the June, 2018 meeting.

Resolution No. 18-4-001

**A RESOLUTION OF THE PUTNAM COUNTY REGIONAL PLANNING COMMISSION TO
ADOPT A REQUIREMENT THAT UNDER CERTAIN CONDITIONS FIRE SUPPRESSION
SPRINKLER SYSTEMS MAY BE REQUIRED**

WHEREAS, the Tennessee Code gives local governments, via their planning commissions, the authority to adopt and enforce subdivision regulations; and

WHEREAS, where appropriate water infrastructure is not in place to sufficiently serve the needs of residents and provide fire protection via the placement of fire hydrants over the entire extent of the unincorporated areas of Putnam County; and

WHEREAS, the future owners of such tracts could potentially face dangers from house and other fires that without said infrastructure could result in loss of property and life in the case of a fire; and

WHEREAS, the Putnam County Regional Planning Commission feels this is a disservice to the future owners of such tracts; and

WHEREAS, the Putnam County Regional Planning Commission has been approached by developers to allow fire suppression sprinkler systems in areas that do not have the infrastructure for traditional fire protection via fire hydrants but are served by public water systems with water mains that cannot support traditional fire protection via hydrants; and

WHEREAS, the Putnam County Regional Planning Commission may adopt a requirement that fire suppression sprinkler systems may be required in subdivisions where traditional fire protection cannot be provided without exorbitant expense to the developer; and

WHEREAS, the Putnam County Regional Planning Commission is not adopting the requirement that fire suppression sprinkler systems be installed in all single family residential structures; and

WHEREAS the adoption of the requirement that fire suppression sprinkler systems be installed in single family residential structures must be done pursuant to the procedure set out in Tenn. Code Ann. § 68-120-101; and

WHEREAS, the Putnam County Regional Planning Commission wishes to allow developers the flexibility to allow development of property where traditional methods of fire protection are not available; and

WHEREAS, the Putnam County Regional Planning Commission will set the standard for when and under what circumstances fire suppression sprinkler systems are allowed and traditional fire protection via fire hydrants is not required; and

WHEREAS, a public hearing was held on _____ and _____ with public notice of public hearing published on _____ in a newspaper of general circulation, the Herald-Citizen; and

NOW, THEREFORE, BE IT RESOLVED that the Putnam County Regional Planning Commission adopts the sprinkler requirement as follows:

SECTION I: The Putnam County Regional Planning Commission hereby adopts a requirement that fire suppression sprinkler systems be installed in each single family residential structure in subdivisions, in the unincorporated areas of the county that are without access to traditional fire protection via fire hydrants; and

SECTION II: All fire suppression sprinkler systems SHALL be installed according to the latest edition of the NFPA 13D (Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings and Manufactured Homes), which as of adoption of this resolution is the 2016 edition; and

SECTION III: All fire suppression sprinkler systems installed in mobile and manufactured homes shall be consistent with the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes; and

SECTION IV: The fire suppression sprinkler system requirement will take effect following the adoption of an amendment to the Putnam County Subdivision Regulations formalizing the conditions under which fire suppression sprinkler systems are allowed.

Adopted by the Putnam County Regional Planning Commission:

First Reading: _____
 Second Reading: _____

Vote: _____
 Vote: _____

 Chairman, Putnam County Regional Planning Commission

 Date

ATTEST:

 Secretary Putnam County Regional Planning Commission

 Date

ITEM 9: SPRINKLER OPTION SUBDIVISION REGULATIONS AMENDMENT — Discussion of when a sprinkler requirement in subdivisions without traditional fire protection as proposed in Resolution 18-4-002.

AMENDMENT 18-4-002

**AN AMENDMENT TO THE PUTNAM COUNTY SUBDIVISION REGULATIONS REGARDING
 FIRE SUPPRESSION SPRINKLER SYSTEMS**

WHEREAS, as stated under *Section 13-3-403 of the Tennessee Code Annotated*, inclusive, authorizes the Putnam County Regional Planning Commission to revise the Subdivision Regulations to protect the health, safety and welfare of the general public; and

WHEREAS, the adoption of a requirement that fire suppression sprinkler systems be installed in single family residential structures must be done pursuant to the procedure set out in Tenn. Code Ann. § 68-120-101; and

WHEREAS, the Putnam County Regional Planning Commission has followed the prescribed manner to adopt the sprinkler requirement; and

WHEREAS, a public hearing was held on June 5th, 2018 with public notice of public hearing published on April 24th, 2018 and May 15th, 2018 in the Herald Citizen Newspaper; and

WHEREAS, the Putnam County Regional Planning Commission voted on June 5th, 2018 to amend the Putnam County Subdivision Regulations, and

NOW, THEREFORE, BE IT RESOLVED by the Putnam County Regional Planning Commission as follows:

SECTION I: The Subdivision Regulations for Putnam County, Tennessee as indicated shall be amended as follows:

Article III, Section C, Item #7 shall be added to read as follows:

7. If adequate water supply via a 6-inch water main and fire hydrants installed within 500 ft. of each residential lot are not available, the installation of fire suppressions sprinkler systems shall be required in each residential dwelling unit (house, apartment, etc.) in accordance to the following requirements:

- a. Minimum distance from the closest lot in a subdivision to the nearest 6-inch water main shall be recorded on the plat.
 - i. If the minimum distance from the closest lot in a 3 to 5 lot subdivision to the nearest 6-inch main exceeds 500 ft. and each lot is served by at least a 2-inch water main, fire suppression sprinkler systems shall be installed.
 - ii. If the minimum distance from the closest lot in a 6 to 20 lot subdivision to the nearest 6-inch main exceeds 2000 ft. and each lot is served by at least a 4-inch water main, fire suppression sprinkler systems shall be installed.
 - iii. For subdivisions of more than 20 lots, fire hydrants, supplied by a minimum 6 inch main, which meet minimum specifications for fire flow, are required.
- b. All fire suppression sprinkler systems SHALL be installed according to the latest edition of the NFPA 13D (Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings and Manufactured Homes) which as of adoption of this resolution is the 2016 edition AND/OR the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes."
- c. All fire suppression sprinkler systems installed in mobile and manufactured homes shall be consistent with the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes.
- d. Existing residential structures shown on the plat are exempt from this sprinkler requirement. If any existing structures shown on the plat are removed or destroyed any replacement of said structure must comply with the sprinkler requirements.
- e. Plats that are allowed to use sprinklers shall include the following plat note: Per the Putnam County Regional Planning Commission: residential lots included in this plat will be required to install residential sprinkler systems to requirements found in NFPA 13D, Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings or the regulations established by the United States Department of Housing and Urban Development (HUD) relating to the installation of sprinkler equipment in manufactured homes. Existing residential structures shown on the plat are exempt from this sprinkler requirement. If any existing structures shown on the plat are removed or destroyed any replacement of said structure must comply with the sprinkler requirements.
- f. Plats utilizing sprinklers are not eligible for administrative approval.
- g. The developer shall list this requirement on each deed, and said requirement shall only be removed upon express permission of the planning commission.

SECTION II: This amendment shall become effective on July 1, 2018:

Chairman, Putnam County Regional Planning Commission

Date

ATTEST:

Secretary, Putnam County Regional Planning Commission

Date

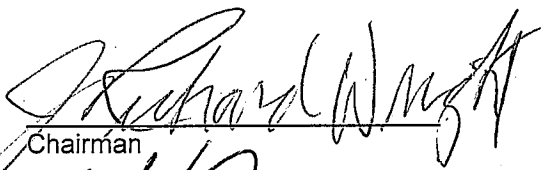

ITEM 10: DRIVEWAYS ON STATE ROUTES IN SUBDIVISIONS — TDOT has recently changed their driveway permitting requirements and in many cases will not approve multiple driveways on a state route in a subdivision. We may want to consider having a driveway plan approved by TDOT and a plat certificate signed by TDOT on all subdivisions with lots fronting on state routes. No action was taken as this was a discussion item at this time.

ITEM 11: OTHER BUSINESS

- Staff Report from Patrick Rinks-Absent.
- Staff Report from Kevin Rush-None.
- Other matters if necessary-None.

ITEM 12: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission will be held on June 5, 2018 at 6:00 p.m. at the Putnam County Courthouse conference room.


Chairman

Secretary

2018-06-05
Date
6-5-18
Date

NOTICE
PUTNAM COUNTY PLANNING COMMISSION
APRIL, 2018

The Putnam County Planning Commission did not meet during the month of April, 2018.

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
MARCH 6, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, March 6, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Vice-Chair Kay Detwiler, Secretary Mike Atwood, Jim Martin, Ted McWilliams, Jere Mason, Dale Moss, and Phil Wilbourn. Ron Williamson was absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Darrell Hall, and Thomas Phy.

ITEM 1: APPROVE THE MARCH 6, 2018 AGENDA.

The agenda was accepted by mutual consent. Item 7A was withdrawn by the developer.

ITEM 2: MINUTES OF THE FEBRUARY 6, 2018 MEETING.

Ted McWilliams moved to approve the February 6, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017.

Redivision of Lots 4 & 5 Beckner Estates—Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

ITEM 4: OUTSTANDING LETTERS OF CREDIT: NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. LOT LINE ADJUSTMENT OF HARLEY DRIVE DIVISION LOT 1 FINAL PLAT, CLINTON SURVEYING, COOKEVILLE, TN

Moved boundaries between Parcels 039 050.04 and 039 050.06 on Harley Drive. Administratively approved 2-26-18.

B. BURGESS PROPERTIES FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN

Created one 1.90 acre lot from 068 056.00 on Rocky Point Road. Administratively approved 2/26/18.

ITEM 7: SUBDIVISION PLATS

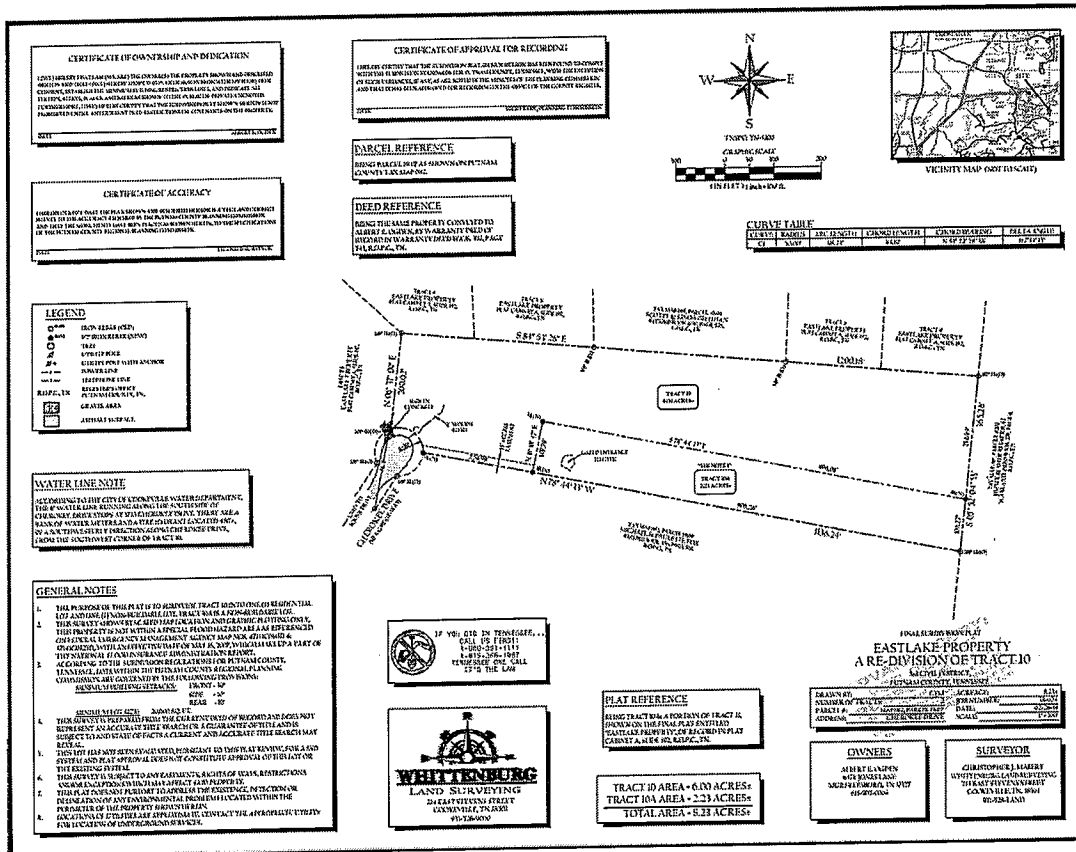
A. RE-DIVISION OF EASTLAKE TRACT 10 FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Mr. Ogden's property can be seen on the TN Property Data Page by clicking here: [Ogden](#). Map 082, Parcel 019.07. The GPS location of the cave on Google Maps is shown by clicking [here](#).

At the January meeting, while no action was taken on this item, the planning commission felt that it would be possible to subdivide this tract and were amenable to several options. The developer was told to submit a plat of how he wants to divide the parcel to the planning commission.

He has had a plat prepared. The cave entrance and 2.23 acre lot will be sold to a cave preservation group that cannot be built upon and will be accessed via an ingress/egress easement. The remainder will be a 6 acre tract that will be a buildable lot. He is having soils done on this lot to ensure buildability. If the remainder of the lot does not get approved for septic, then he may withdraw or modify the plat.

No action was taken as the plat was withdrawn by the developer prior to the meeting.

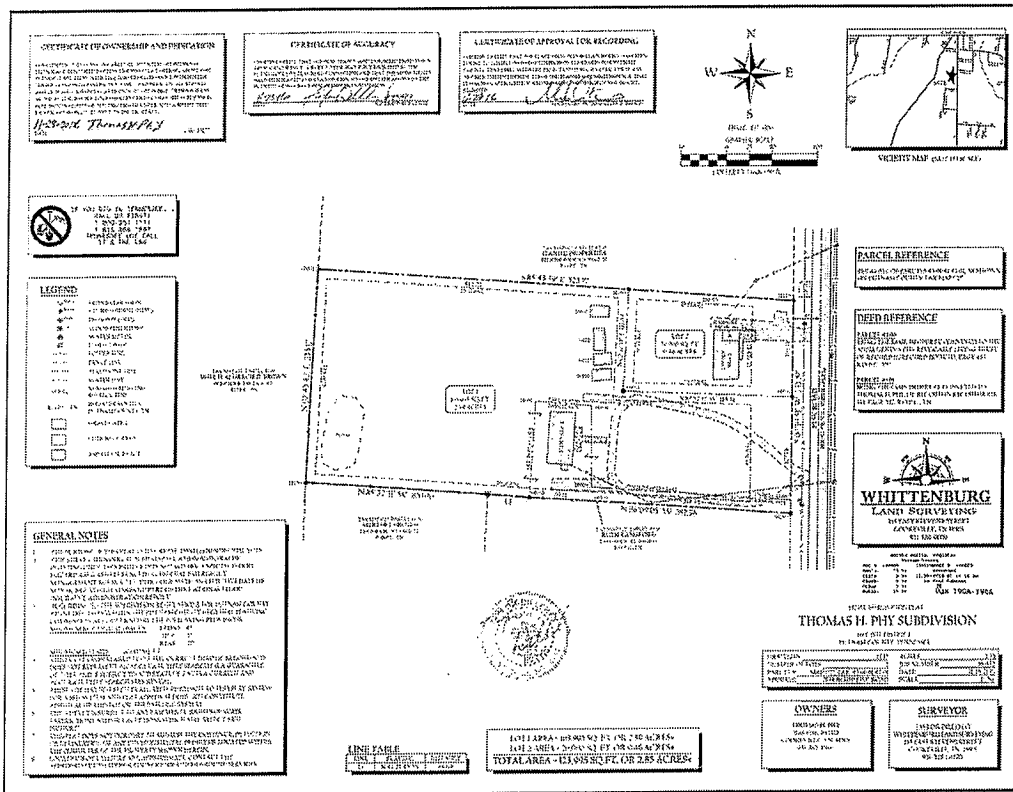


B. RESUBDIVISION OF LOTS 1 AND 2 THOMAS PHY DIVISION PHASE 2 FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

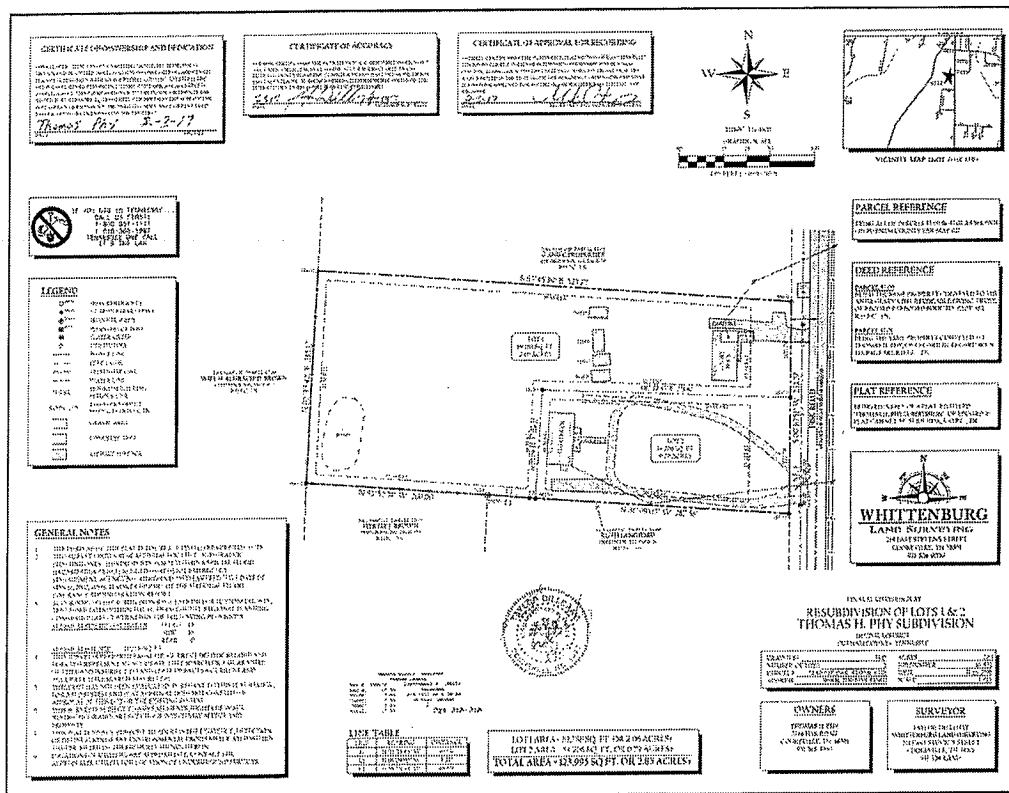
Thomas Phy owned a small flag lot (Map 027 043.01) and the tract surrounding it (Map 027 043.00), a total of 2.85 acres. There was a house on the flag lot (3148 Fisk Road) and a house on the other parcel, 3150 Fisk Road. He combined the lots and subdivided 3150 Fisk Road on to a 0.46 acre lot that was platted and administratively approved in November, 2016. This left 2.39 acres with the 3148 Fisk Road that was originally on Parcel 043.01. Then in February, 2017, he replatted the parcels to put 3418 on a 0.79 acre lot with the rest combined with the 0.46 acre lot becoming 2.06 acres. This was administratively approved and recorded in February, 2017. Now Mr. Phy wants to replat this property again, this time going back to the first administratively approved plat with 3150 Fisk Road being on a 0.46 acre lot and 3148 Fisk Road being 2.39 acres. TN Property Data Viewer still shows the original flag lot and has not been updated with either recorded plat. Both of the administratively approved plats were recorded after administrative approval.

Lots are served by a 6 inch water line. All houses comply with the setbacks. The reason this is not administratively approved again is staff felt uncomfortable administratively approving a plat for the third time on the same property with the same lots.

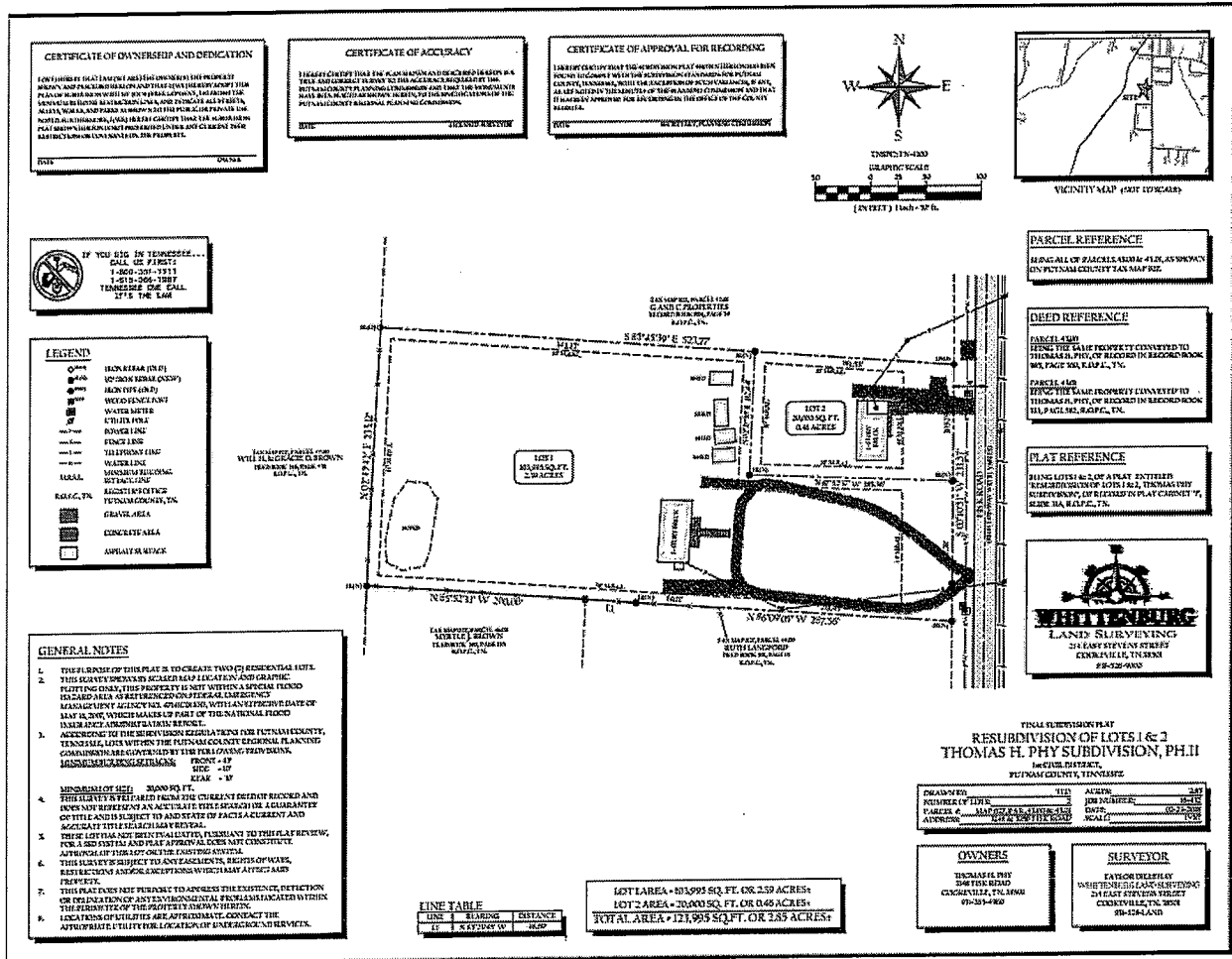
The original November, 2016 administratively approved plat:



The revised February, 2017 administratively approved plat:



The latest plat as submitted:



Mr. Phyllis stated that he has a buyer for the smaller lot as shown on the latest plat. He stated that it took him a while to finally decide which lot to sell. Jere Mason moved to approve the plat as presented. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 8: SPRINKLER OPTION CODIFICATION — Staff is still in the process of finalizing the adoption process and the proposed wording with County Attorney Jeff Jones.

ITEM 9: OTHER BUSINESS

- Staff Report from Patrick Rinks: None.
- Staff Report from Kevin Rush: None.
- Other matters if necessary: None.

ITEM 10: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission will be held on April 3, 2018 at 6:00 p.m. at the Putnam County Courthouse conference room.

Chairman

Secretary,

Date _____

Date _____

**MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
FEBRUARY 6, 2018**

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, February 6, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Ted McWilliams, Jere Mason, Dale Moss, Ron Williamson, and Phil Wilbourn. Vice-Chair Kay Detwiler and Jim Martin were absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Darrell Hall, Rob Harrison, and Diane Peterson of Vick Surveying.

ITEM 1: APPROVE THE FEBRUARY 6, 2018 AGENDA.

The agenda was accepted by mutual consent. Item 8B was withdrawn by the developer.

ITEM 2: MINUTES OF THE JANUARY 2, 2018 MEETING.

Mike Atwood moved to approve the January 2, 2018 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017.

Redivision of Lots 4 & 5 Beckner Estates—Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

ITEM 4: OUTSTANDING LETTERS OF CREDIT—NONE

ITEM 5: ACCEPTANCE OF NEW STREETS: NONE

ITEM 6: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

A. REDIVISION OF TRACT 2 OF LOTS 19-25 OF HERMAN BROWN SUBDIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE TN

Moved boundaries between Parcels 038 085.01 and 039 085.02 on Bloomington Road. Required TDEC soil approval. Administratively approved 1-8-18.

B. JAMES & KARLA JOHNSON DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one 1.90 acre lot from 068 056.00 on Rocky Point Road. Administratively approved 1/30/18.

ITEM 7: DISCUSSION ITEMS- SPRINKLER OPTION CODIFICATION

After discussing with both Putnam County Codes and County Attorney Jeff Jones, we need to codify the sprinkler requirements into the subdivision regulations. Planning Director Rush informed the planning commission that there will be a specific method to codify this requirement. Per County Attorney Jeff Jones: "Normally, pursuant to Tenn.Code Ann. §§ 13-3-303 and 13-3-403, the procedure for adopting amendments to a plan, including subdivision regulations, is to have a public hearing and then a singular vote with a need of only a majority to pass the amendment. However, the more recent statute, Tenn.Code Ann. § 68-120-101, requires that the Commission must present the mandatory sprinkler requirement separate from its other subdivision regulations, must vote on the regulation separately, and must follow the statutory process for twice reading and voting upon the regulation, including that the regulation to pass must receive "an affirmative two-thirds (2/3) vote on final reading." Staff stated that he would work with Jeff Jones to make sure that any amendment would be completed legally and thereby enforceable and would have a draft as quickly as possible.

Phil Wilbourn recommended this variant:

WATER PRESSURE CERTIFICATION BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TENNESSEE

I hereby certify that I have performed (CHECK ONE)

- water line calculations for the new lines(s)
- flow tests of the existing line(s).

Based on the results and information available to me as of the date shown below, it is my professional opinion that, while any one fire hydrant is free flowing in this development, a negative residual pressure will not exist in the water system within one mile of the free flowing fire hydrant.

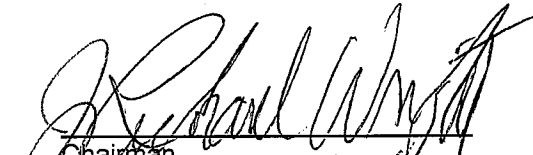
Dale Moss moved to amend the water certification by deleting the current language and substituting the language variant recommended by Phil Wilbourn. Motion was seconded and approved unanimously with Chairman Wright abstaining.

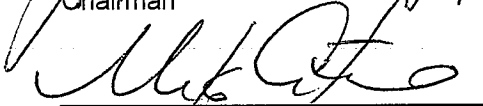
ITEM 10: OTHER BUSINESS


- Staff Report from Patrick Rinks-- None
- Staff Report from Kevin Rush--None
- Other matters if necessary--None

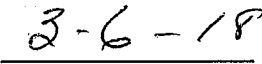
ITEM 11: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission will be held on March 6, 2018 at 6:00 p.m. at the Putnam County Courthouse conference room.


Chairman


Secretary


Date


Date

MINUTES
PUTNAM COUNTY REGIONAL PLANNING COMMISSION
JANUARY 2, 2018

The Putnam County Regional Planning Commission met at 6:00 p.m. on Tuesday, January 2, 2018, in the conference room of the Putnam County Courthouse at 300 E. Spring Street in Cookeville. Members present were Chairman Richard Wright, Secretary Mike Atwood, Ted McWilliams, Jere Mason, Dale Moss, Ron Williamson, and Phil Wilbourn. Vice-Chair Kay Detwiler and Jim Martin were absent. Also present were Planning Director Kevin Rush, Planning Commission Engineer Patrick Rinks, Jim Herrin with the Herald-Citizen, Chad Gilbert, and Albert and Brandon Ogden.

ITEM 1: APPROVE THE JANUARY 2, 2018 AGENDA.

Planning Director Rush stated that he had rearranged an item on the agenda to get the administrative review items first on the agenda since there is usually not any action required on them. The agenda was accepted by mutual consent.

ITEM 2: MINUTES OF THE NOVEMBER 7, 2017 MEETING.

Ted McWilliams moved to approve the November 7, 2017 Minutes as written. Motion was seconded and approved unanimously with Chairman Wright abstaining. There was no meeting in December, 2017 due to a lack of business.

ITEM 3: REVIEW OF PRELIMINARY PLATS PREVIOUSLY APPROVED

Westowne Estates Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 5/2/2017.

Redivision of Lots 4 & 5 Beckner Estates—Jim Helton, Surveyor. Conditional preliminary approval 12/2/14. Extension granted until December, 2018.

Paran Farms Preliminary Plat, Whittenburg Surveying. Conditional preliminary approval 9/5/2017.

ITEM 4: OUTSTANDING LETTERS OF CREDIT—

Hensley Heights Subdivision Phase III, Larry Suggs' certified check (\$32,000) submitted on 6/6/2017. Discussion was about whether to release letter of credit prior to the road being accepted by the County Commission. Rinks reported that he had spoken with Randy Jones earlier in the day and Randy was good with everything. Mike Atwood moved to release the check since the road has been completed and built to standard. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 5: ACCEPTANCE OF NEW STREETS: HENSLEY COURT- HENSLEY HEIGHTS PHASE III

Mike Atwood moved to recommend that Hensley Court be accepted by the county commission as a county road. Motion was seconded and approved unanimously with Chairman Wright abstaining. It was decided that Dale Moss would work with staff to review the process of accepting streets to see if any improvements can be made.

ITEM 6: DISCUSSION ITEMS

A. ALBERT OGDEN DISCUSSION

Mr. Albert Ogden wanted to be on the agenda to discuss subdividing his tract with a portion being sold to a cave conservation group. He would like to sell the cave on a landlocked parcel, accessed via an easement, to a cave conservation group, restricted so that no residential/commercial structure could be built on the lot. Here is what he sent me in our email exchanges.

Hi Mr. Rush, I own 8.14 acres in Eastlake Subdivision that I bought about 25 years ago to protect the cave on the property. I was a geology professor at Tech in those days but am now retired and live in Murfreesboro. My address is 6478 Jones Lane, Murfreesboro, TN 37127. I have been trying to sell my land with the cave in Eastlake to the National Speleological Society or SE Cave Conservancy for a couple years now and have recently contacted the Nature Conservancy who I have done geology

consulting work for. Because the land is in a subdivision it is a bit pricier than they are accustomed to buying to preserve caves. The cave is called Secret Cave and is considered to be one of the top 5 most beautiful caves in the state which is why I bought it to preserve it. About 3 years ago I was in your office when Jonathan Ward was there and spoke with him about surveying off about 2.5 acres of my 8.1 acres to make it affordable with whoever buying it, willing to sign any necessary agreement of understanding that the land would be declared greenspace and forever not to be built upon. Mr. Ward did not think that would be a problem and thought the board would approve it. I also have an individual caver who would like to buy it to preserve it and sign a similar agreement. I've been retired for 3 years now and want to get the cave in the right hands and I could use a little extra cash. I met with a Board of Governor and member of the Cave Acquisition Committee of the National Speleological Society to discuss some of the things we talked about. I asked them to provide me some form of Intent to Purchase letter to present to the Putnam County Planning Commission. They had no problem promising never to put a building on the property. I also called a surveyor over there to get an estimate for the survey. Before I pay for that and waste a bunch of money, I would like to discuss the proposed plan with the commissioners briefly at the next meeting to see what they think and exactly what type of paperwork they want from the NSS....you said something about a contract. The NSS rep said they should have no problem getting a letter of intent to purchase before that meeting.

His property can be seen on the TN Property Data Page by clicking here: [Ogden](#). Map 082 Parcel 019.07. The GPS location of the cave on Google Maps is shown by clicking [here](#).

Mr. Ogden stated that he bought the lot to protect the cave. He wishes to sell the cave entrance. Mike Atwood stated that if the entire cave is not contained within the lot being sold, that the new owner could bore straight down into the cave. Mr. Ogden acknowledged that was something that could happen, but the cave group buying the cave know that too.

While no action was taken on this item, the planning commission felt that it would be possible to subdivide this tract and were amenable to several options. The developer must submit a plat of how he wants to divide the parcel for the planning commission to take any action.

ITEM 7: SUBDIVISION PLATS

A. PARAN FARMS FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

The preliminary plat of this subdivision was conditionally approved September 5, 2017. From the Minutes of that meeting:

"This is a preliminary plat of seventeen (17) lots from Parcel 008 040.02, at the intersection of Paran Road and Presley Lane. The lots will range from 0.50 acres to 1.05 acres in size. There is a two inch waterline on Presley Lane and a proposed six inch water line on Paran Road. Per Taylor Dillehay at Whittenburg Surveying, "Chad Gilbert has supposedly somehow worked out a deal with Victor Jones, and they are going to install a six inch line along Paran Road." Planning Director Rush recommends that a six inch water line be installed on Presley Lane and a fire hydrant installed to avoid the requirement of installation of sprinklers.

It was noted at the meeting that the six inch line that they are installing will be fed by a four inch line. The six inch line will have to be engineered and approved by the state. They are requesting to install two hydrants to cover Lots 6-17 and require sprinklers on Lots 1-5.

Discussion centered on the feeding of a six inch line by a four inch line. Staff stated that a four inch line cannot provide fire flow (500 gpm with 20 psi residual pressure). It was

noted that there are very few if any hydrants in the county that can produce that flow with 20 psi residual pressure.

Mike Atwood moved to accept the preliminary plat, contingent upon the developer flow testing the four inch line at the Paran Road and Presley Lane intersection and if the line flows allow hydrants, then the six inch line and hydrants will be required, but if the line does not flow for hydrants, then all lots will require sprinklers. Motion was seconded and approved unanimously with Chairman Wright abstaining.

The lots have had soils completed and the shading is on the plat. The flow testing did not provide fire flow (500 GPM with 20 PSI residual pressure) and all lots will require sprinklers. The plat note is on the plat. The plat shows a 6 inch water line on Paran Road to service Lots 7-17. Jere Mason moved to approve the plat subject to signatures, with the addition of the Planning Commission Engineer plat certificate being added, and for staff to work on the required sprinkler note, specifically as to whether it should have a specific date. Motion was seconded and approved unanimously with Chairman Wright abstaining.

ITEM 8: REPORT ON ADMINISTRATIVELY APPROVED PLATS---

- A. WAVA DAVIS FINAL PLAT, BART LAY SURVEYOR, SMITHVILLE, TN**
Created one 0.703 acre lot from 094 037.00 on Cookeville Boatdock Road. Administratively approved 11/27/17.
- B. RICHARD BROWN DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN**
County Road already extended to proposed lot. One 0.94 acre lot from 087 049.00 on Elmore Town Road. Administratively approved 11/27/17.
- C. ILA PEARL HARGIS DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN**
Created one 1.89 acre lot from 016 011.03 on Pippin Road. Administratively approved 11/27/17.
- D. JERE MASON & RANDALL GOOLSBY ADJUSTMENT FINAL PLAT, JACKSON SURVEYING, COOKEVILLE, TN**
Adjusted lot lines between 3 parcels (009 090.22, 009 083.04, and 009 063.24) on Bartlett Road and Mason Road. Administratively approved 11/28/17.
- E. REDIVISION OF TRACT 2 OF LOTS 19-25 OF HERMAN BROWN SUBDIVISION FINAL PLAT, VICK SURVEYING, COOKEVILLE, TN**
Adjusted lot lines of 038 085.01 and 038 085.02 on Bloomington Road to create one new lot requiring TDEC approval of soils for the lot. 12/5/17.
- F. MAYBERRY/WILHITE DIVISION FINAL PLAT, MAPLES SURVEYING, COOKEVILLE, TN**
Created one 0.481 acre lot from 009 0026.00 on W. Whitehall Road. No variances, subject to septic approval. Administratively approved 12/8/17.
- G. HUDDLESTON & NESMITH DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN**
Created one 3.65 acre lot from 067 068.00 on Poplar Grove Road. Administratively approved 12/5/17.

H. ROBERSON PARTNERSHIP LP DIVISION FINAL PLAT, WHITTENBURG SURVEYING, COOKEVILLE, TN

Created one lot from 020 008.00 on Turkey Creek Road. No variances, subject to septic approval. Administratively approved 12/20/17.

ITEM 9: WATER ENGINEER CERTIFICATE Public hearing—

Due to the email with the notice getting caught in a spam filter, the notice did not run so the public hearing is being postponed to the February meeting. The notice was in the Sunday, 12/31/17 *Herald Citizen* edition which is more than the 30 days required.

ITEM 10: CLUSTER DEVELOPMENT REGS. DISCUSSION

It was agreed to remove this item from the agenda and that each proposed cluster development will be reviewed on its own merit.

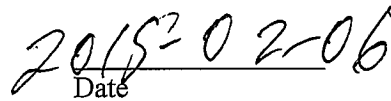
ITEM 11: OTHER BUSINESS

- Staff Report from Patrick Rinks- None.
- Staff Report from Kevin Rush- None.
- Other matters if necessary- None.

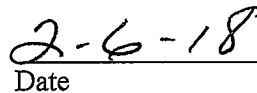
ITEM 12: ADJOURN

With no further business to discuss, the meeting was adjourned by mutual consent. The next meeting of the Putnam County Regional Planning Commission will be held on February 6, 2018 at 6:00 p.m. at the Putnam County Courthouse conference room.


Chairman


Date


Secretary


Date